

DLS SHOOTING RANGE  
RANGE RENOVATION PHASE I  
SCOTT COUNTY, IOWA  
PROJECT NUMBER: 23-06-82-01

July 14, 2023

This Addendum is issued to modify, explain or correct the original Drawings and Specifications, and is hereby made a part of the Contract Documents. Please attach this Addendum to the Project Manual in your possession. Insert the number and issue date of this Addendum in the blank space provided on the Proposal Form.

**Plans:**

1. Reference Plan 01/A-310 should be 30 yard range (attached superseded drawing)
2. Reference Plan 01/A-311 should be 100 yard range (attached superseded drawing)
3. Detail – Down-Range Steel Shooting Baffle 01/A-314 angles vary, review shooting range sections, plate shall be per keynote #33, 3/8" thick x 10'-0" long x 4'-0" wide (attached superseded drawing)
4. Detail – Sidewall Expansion Joints 04/A-315 should occur every 75 linear feet maximum.

**Substitutions:**

1. Raynor Aspen (AP200) overhead doors in "flush – brown" are an approved equal to the specified overhead door.

**Questions/Clarifications:**

- Attached is the asbestos report regarding remediation and demolition of existing structures on the property.
- 

*Are the buildings to be demoed "empty"? A: I told him that I had been inside and the clubhouse and small shed attached to the large barn are "mostly" empty beside a few miscellaneous items such as cabinetry, carpet, ceiling tiles, some small utilities like water heaters and such, and some 80's era big screen TVs. Anything else to add?*

*Anything that is left in the building is to be demolished or salvaged by the contractor.*

*Clay pigeon pills. Can they grind these up and spread onsite or do they need to take them all off site?*

*These will have to be scraped off and either put into the base of the berms or stockpiled behind them.*

*Black soil? Just spread on top of the berms when doing final grading?*

*Correct, we'll need a thin layer, 4 inches of topsoil for grass to grow*

*Can they mulch up the brush and spread?*

*Maybe on the backside of the berms away from the operations area.*

*Can they use fiberglass rebar "GatorBar"?*

*Yes, I don't mind using fiberglass bar*

*Bigger Trees: What local regs do they need to abide by?*

*Since this property is on Sovereign Lands, we abide by State and Federal Laws and Regulations only. Trees larger than 3" diameter can only be removed from October 1 – March 31<sup>st</sup>.*

*Utilities: Do they need to demo and take out the entire length of water and electric, or just what is above grade? A: I told them everything, including utilities underground. Do you have anything to add?*

Cut and Cap all utilities, abandon in place unless the contractor believes there is salvage value, then they may remove them completely.

*Notes also say all hardware to be stainless steel but not galvanized bolts for galvanized steel*

All Steel to Steel connection and structural hardware is to be Hot-Dipped Galvanized as stated on the General Notes section for the shooting structures. To further clarify, all steel to steel connections either need to be HDG or powder-coated.

*My question is in line 33 it says the down range plate is 3/8 x 10' x 2'4". However, when looking at the photo it is 4' long But give no other indication on width*

Downrange baffling steel is to be 4'-0" wide as shown on the drawings, note 33 is in error, it should read "33. REMOVABLE ASSEMBLY OF 3/8"X10'-0"X4'-0" AR400 STEEL PLATE BOLTED TO 3/8"X3"X3" ANGLES THAT ARE WELDED TO VERTICAL FACE OF COLUMN, STIFFEN ASSEMBLY WITH STEEL ANGLES AS NECESSARY. ADJUST MOUNTING PLACEMENT WITH DNR STAFF FOR PROPER ANGLES AND HEIGHTS."

*Sheet C2 notes that the 8' high concrete walls are 1' wide but the detail and keynote on A315 say 8" – please confirm. Concrete sidewalls shall by 8" wide as shown on the drawings.*

*Metal Roof Panels for Shooting Structures – Calls for Mcelroy Max-Rib Ultra. With all trim? Please provide detail if trim is required at ends/sides. What gauge of panels are required?*

Metal roof panels to be 26ga galvalume with Kynar 500 finish, trim on rake, eave and drip edge.

*Survey – Will DNR provide all surveying points for concrete, grading, etc?*

Construction staking was a bid item, DNR will provide control only, contractor responsible for construction staking.

*Material Testing – What testing will be required and how often with it need to be tested?*

Testing will not be required, observation and proof-rolling will be the method for compaction. Contractor shall provide all concrete mix details from the plant and maturation data from the mix plant for review by the DNR Inspector.

*Concrete Divider Wall – Keyway Control Joint Specification? How many feet of wall per control joint?*

Concrete sidewalls shall have control joints every 15'-0" linear feet and expansion joints every 75'-0" linear feet.

*Will tree and demo debris be allowed to be burned on site?*

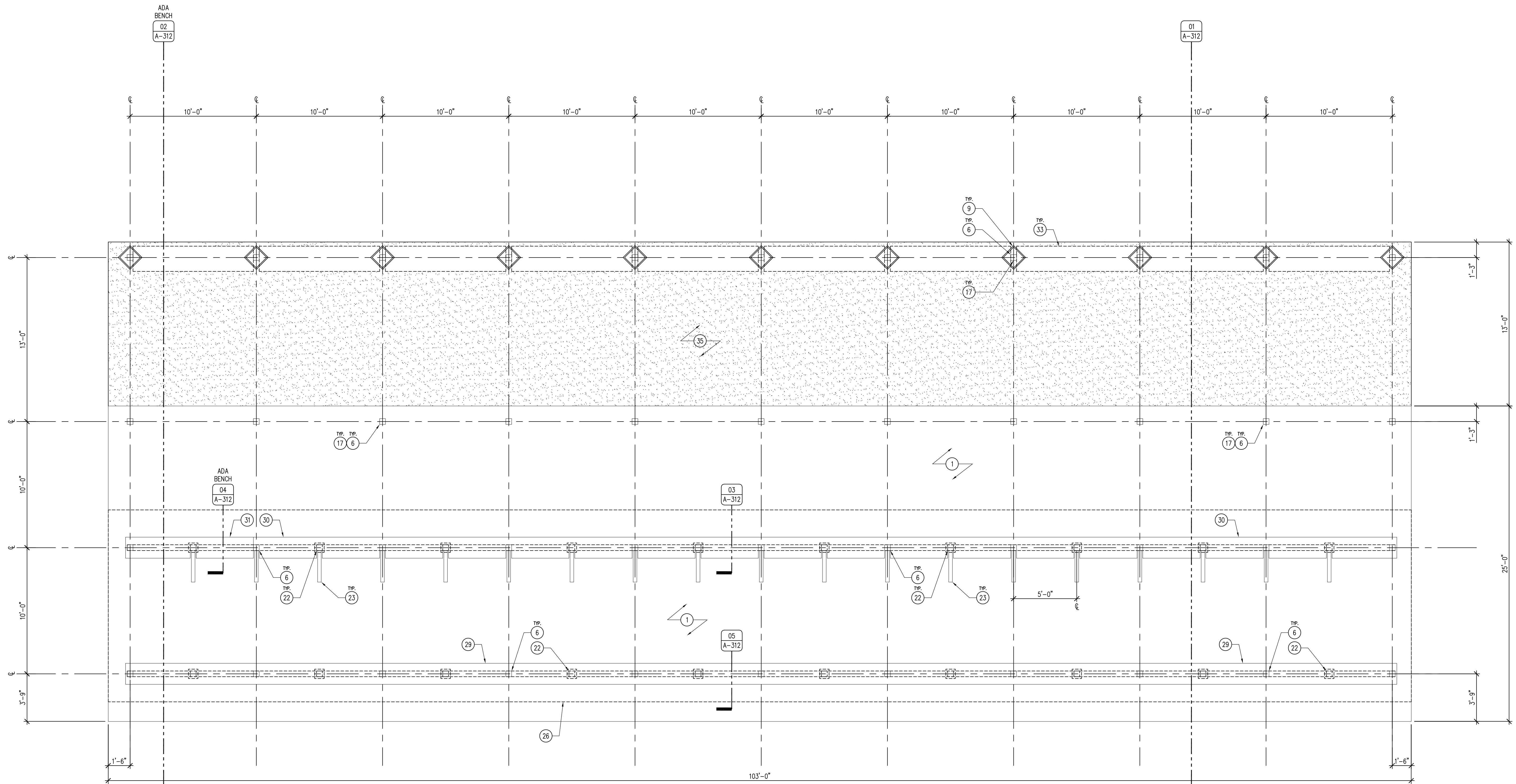
Tree and shrub material can be burned or mulched on site, all building debris shall be disposed of off site at an appropriate landfill site.

*Are all trees/shrubs inside the fence to be removed, or just where they conflict with proposed work?*

All tree and shrub material around the existing fence area shall be removed, both sides of fencing.

*Is there a detail for the saddle for the 12" RCP between Intakes #1 and #5 that will protrude though the cast-in-place wall?*

Concrete saddle shall be removed, drainage line will run directly though footing of sidewall, contractor may sleeve if necessary.



**01** REFERENCE PLAN - 30 YARD RANGE  
SCALE: 1/4" = 1'-0"

**KEYNOTES**

1. 6" CONCRETE SLAB OVER 6" SUBBASE WITH #4 REBAR 24" O.C. BOTH DIRECTIONS, SLOPE 1% AWAY FROM SHOOTING LINE.
2. CONCRETE SHOOTING BENCH (SUPPLIED BY OWNER), INSTALLED 5'-0" O.C. BY CONTRACTOR.
3. MCLEROY MAX-RIB ULTRA ROOFING WITH ALL TRIM, OR APPROVED EQUAL, COLOR TBD.
4. HSS 3X3X3/4" 24" O.C.
5. HSS 4X4X3/8" BEAM, ATTACHED 3/8" END PLATE BOTH SIDES, WELD AND GRIND SMOOTH.
6. HSS 4X4X3/8" COLUMN.
7. HSS 8X4X3/8" BEAM, REMOVABLE. ADJUST ANGLE AND MOUNTING HEIGHT IN FIELD WITH DNR STAFF.
8. 3/8" CAP PLATE, WELD & GRIND SMOOTH.
9. 16"X16" SQUARE FORMED CONCRETE PIER CAP EXTENSION 12" TALL, CHAMFER OR TOOL TOP EDGE.
10. 36" DIAMETER CONCRETE FOOTING WITH #4 REBAR 12" O.C. ALL DIRECTIONS, 48" DEEP MINIMUM. POUR FIRST 12" FOOTING FOR COLUMN BASE PLATE ATTACHMENT, THEN POUR REMAINDER OF THE FOOTING ONCE ALL COLUMNS HAVE BEEN SET.
11. COLUMN BASE PLATE 3/2"X9X9 WITH 4 - 3/2" WEDGE ANCHORS, FOR ERECTION ONLY. LEVEL AND INSERT NON-SHRINK GROUT UNDER PLATE.
12. 3/8" END PLATE WELDED AND GRIND SMOOTH WITH 3/8" KNIFE PLATE TO CONNECT TO 3/8" SHEAR TAB WITH 2 - 3/4" DIAMETER HDG BOLTS, TYPICAL EACH END.
13. 2 - 2X8 TREATED BAFFLES SCREENED TOGETHER WITH 2 - 2X12 LONG #10 STAINLESS DECK SCREWS, 24" O.C. ENTIRE LENGTH. SET IN A HSS 8X4X3/8"X4" LONG CUT IN HALF TO MAKE A "U" HANGER. PROVIDE HOLE FOR #10 SCREW ON BOTH SIDES.
14. 3/8"X6 END PLATE WITH EXTENSIONS TO CARRY PLATE ASSEMBLY AND 2-1/2" M.B., TYPICAL.
15. 3/2"X6X6 PLATES, WELD TO PURLIN/BEAM. BOLT WITH 4 - 3/4" STAINLESS BOLTS, NUTS, WASHERS.
16. REMOVABLE ASSEMBLY OF 3/8"X10'-0"X3'-0" AR400 STEEL PLATE WELDED TO C6X8.2 CHANNELS THAT ARE BOLTED TO THE SHEAR TABS ON THE BEAMS, STIFFEN ASSEMBLY WITH STEEL ANGLES AS NECESSARY. ADJUST MOUNTING PLACEMENT WITH DNR STAFF FOR PROPER ANGLES AND HEIGHTS.
17. 4X4X3/8" STEEL ANGLE, TACK WELD ANGLE TO FACE OF COLUMN.
18. TREATED 2X8 BENCH LUMBER, ATTACH AT EACH SUPPORT WITH 3 - 3" #10 STAINLESS SCREWS.
19. TREATED 2X6 BENCH LUMBER, ATTACH AT EACH SUPPORT WITH 2 - 3" #10 STAINLESS SCREWS.
20. TREATED 2X4 BENCH LUMBER, ATTACH AT EACH SUPPORT WITH 2 - 3" #10 STAINLESS SCREWS.
21. TREATED 2X6 BOTH SIDES OF STEEL COLUMN, ATTACHED WITH 2 - 3/8" DIAMETER HDG HEX-HEAD BOLTS AND NUTS, WITH FENDER AND LOCK WASHERS BOTH SIDES.
22. INTERMEDIATE HSS 4X4X3/8" POST WITH 9X9X1/2" BASE SUPPORT FLANGE, 10'-0" O.C. EQUALLY SPACED BETWEEN STEEL STRUCTURAL COLUMNS TO SUPPORT WOOD SHOOTING BENCHES AND SITTING BENCHES. ATTACH POSTS TO SLAB WITH FOUR 3/8" DIAMETER EXPANSION ANCHORS ON EACH CORNER OF SUPPORT FLANGE.
23. SHOOTING LANE DIVIDER (7'-0" TALL X 3'-0" WIDE), TWO LAYERS SQUARE WEAVE GALVANIZED WIRE MESH (#4), 3/2" SQUARE OPENING MAXIMUM. FRAME TO BE 1X2 TUBE STEEL MITERED, WELDED AND GRIND SMOOTH. TACK WELD MESH TO TUBE FRAME AND THEN ADD A 1" X 1" X 14 GA ANGLE TO OUTSIDE OF ASSEMBLY TO HEM MESH. CLAMP WITH TWO 1/2" PLATES AS SHOWN. EXTEND OUTSIDE LEG 6" AND ADD 1/2" PLATE FOR 3/4" WEDGE ANCHORS TO CONCRETE.
24. 2 - 3/2"X9X12 SLOTTED PLATE, WELD ONE TO LANE DIVIDER. BOLT-CLAMP TO OVERHEAD BEAM WITH 4 - 3/4" STAINLESS BOLTS, NUTS, WASHERS AND SLEEVES.
25. 1" KEYS WALL EXPANSION JOINT WITH EXPANSION MATERIAL AND CONTINUOUS EXTERIOR POLYURETHANE CAULK.
26. ROOF LINE OVERHEAD.
27. END PLATE 3/8" WELDED AND GRIND SMOOTH WITH 3/8" KNIFE PLATE TO CONNECT TO 3/8" SHEAR TAB WITH 2 - 3/4" DIAMETER HDG BOLTS, TYPICAL EACH END.
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29. TREATED WOOD SEATING BENCH, MOUNT 1'-6" A.F.F., REFER TO DETAIL 05/A-311.
30. TREATED WOOD SHOOTING BENCH, MOUNT 3'-2" A.F.F., REFER TO DETAIL 03/A-311.
31. TREATED WOOD ADA SHOOTING BENCH, MOUNT 2'-6" A.F.F., REFER TO DETAIL 04/A-311.
32. 3/2" EXPANSION MATERIAL WITH CONTINUOUS EXTERIOR POLYURETHANE SEALANT.
33. REMOVABLE ASSEMBLY OF 3/8"X10'-0"X4'-0" AR400 STEEL PLATE BOLTED TO 3/8"X3"X3" ANGLES THAT ARE WELDED TO VERTICAL FACE OF COLUMN, STIFFEN ASSEMBLY WITH STEEL ANGLES AS NECESSARY. ADJUST MOUNTING PLACEMENT WITH DNR STAFF FOR PROPER ANGLES AND HEIGHTS.
34. CONCRETE SIDEWALK, REFER TO CIVIL DRAWINGS.
35. 3/8" X 4" DEEP CRUSHED STONE SURFACE.
36. 8" THICK X 8'-0" HIGH, ABOVE GROUND, CONCRETE SIDEWALK RANGE DIVIDER WITH #5 REBAR 24" O.C. BOTH DIRECTIONS.
37. 16" WIDE X 4'-0" DEEP CONCRETE WALL FOOTING WITH #5 REBAR 12" O.C., EXTEND VERTICALS THROUGH WALL.
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42. DOUBLE 2 X 10 X 16'-0" LONG GROUND TREATED BEAMS, LAMINATE WITH ROWS OF FOUR (4) 100 RING-SHANK NAILS 12" O.C., ALTERNATE SIDES FOR NAILING.
43. 2 X 6 X 20'-0" GROUND TREATED COVER BOARDS, OVERLAP ON THREE BEAMS TO REDUCE SAG, GAP 1/2" BETWEEN BOARDS. SCREW TO BEAMS WITH TWO (2) 8" X 5" LONG WASHER-HEAD EXTERIOR SCREWS AT ALL BEAMS.
44. SIMPSON CB54HDG, OR APPROVED EQUAL. EMBED IN CONCRETE FOOTING AS REQUIRED BY MANUFACTURER. ATTACH BEAMS WITH TWO (2) 3/2" DIAMETER X 5" LONG HDG, HEX-HEAD BOLT WITH FENDER AND LOCK WASHERS AND NUTS.
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**GENERAL NOTES**

- A. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ALL DIMENSIONS AND ANGLES FOR BAFFLING SYSTEM ARE APPROXIMATE AND SHALL BE FIELD VERIFIED WITH OWNER PRIOR TO PERMANENT INSTALLATION.
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**SHOOTING STRUCTURE PLANS**

RANGE RENOVATION PHASE I FOR:  
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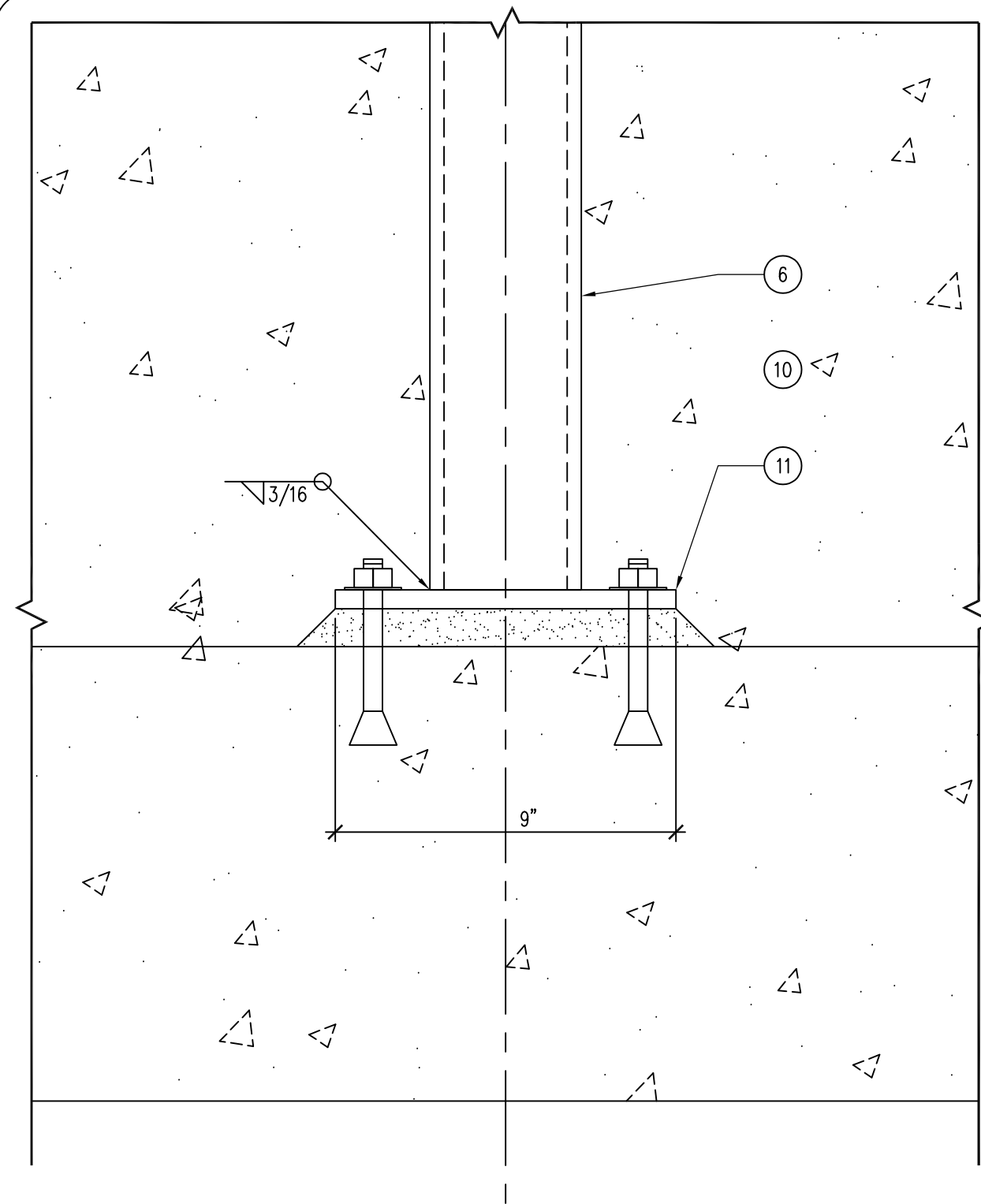
CONSULTANT:

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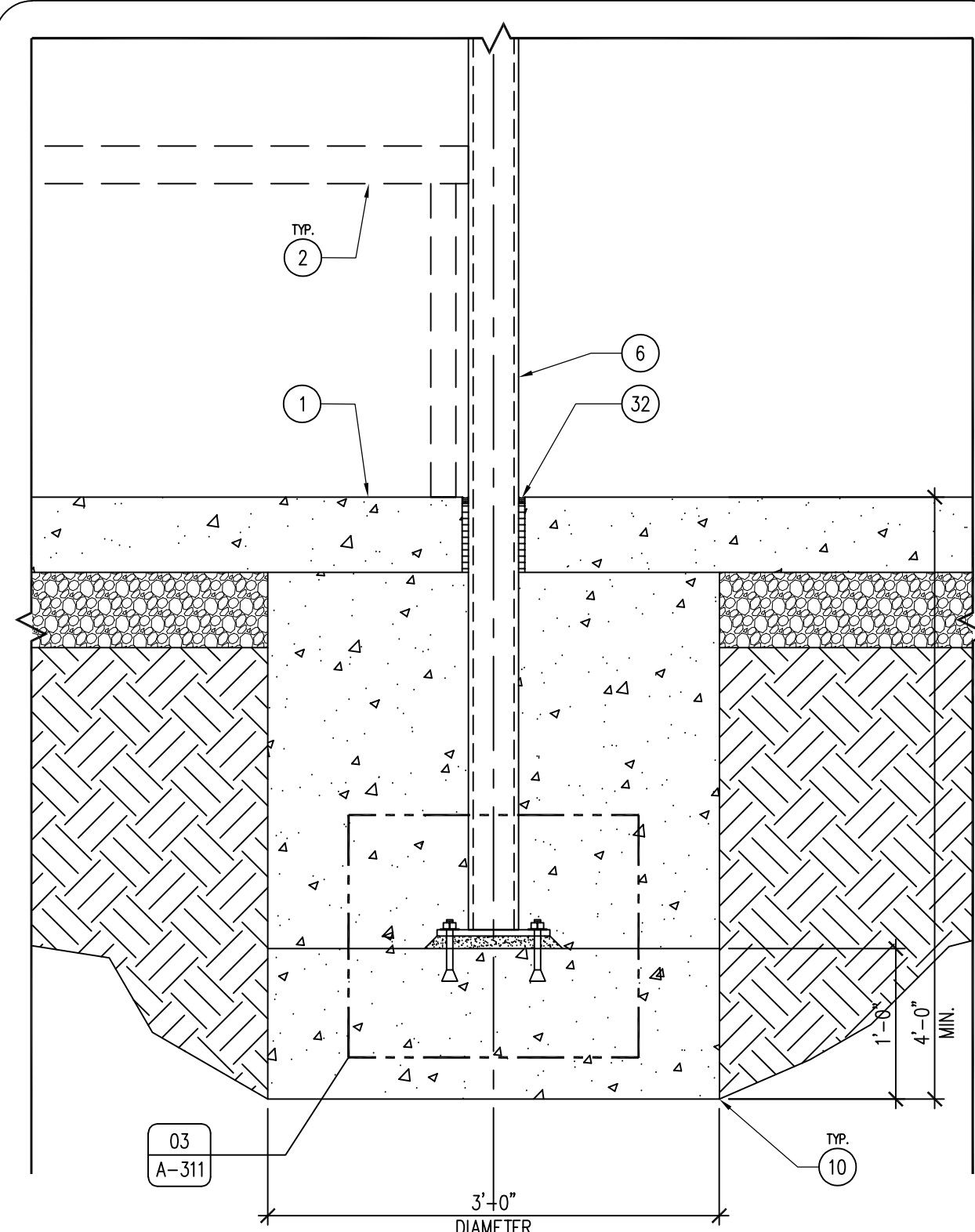
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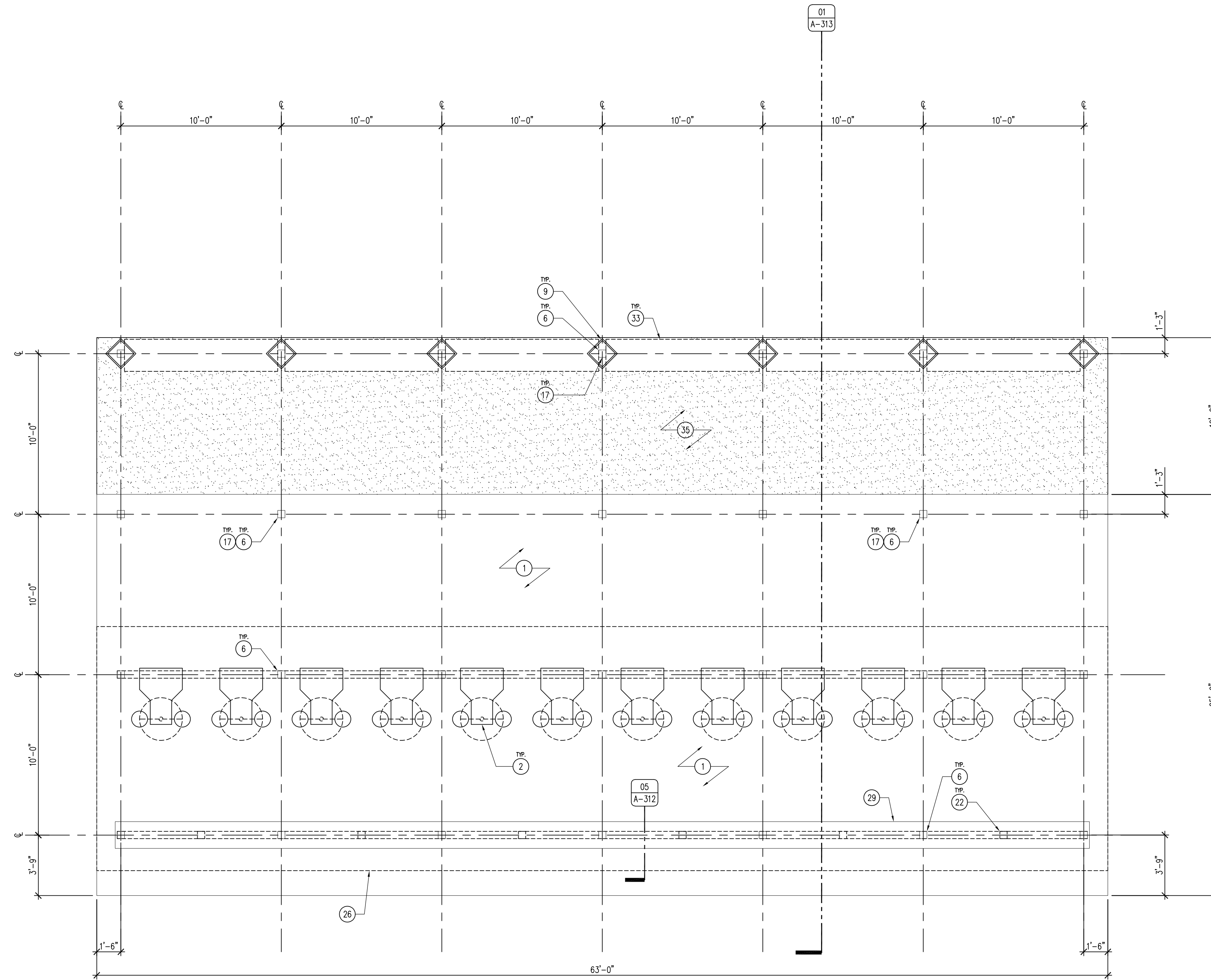
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**03** DETAIL – COLUMN LEVELING PLATE  
SCALE: 3" = 1'-0"



**02** DETAIL – STRUCTURE COLUMN FOOTING  
SCALE: 1" = 1'-0"



**01** REFERENCE PLAN – 100 YARD RANGE  
SCALE: 1/4" = 1'-0"

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**GENERAL NOTES**

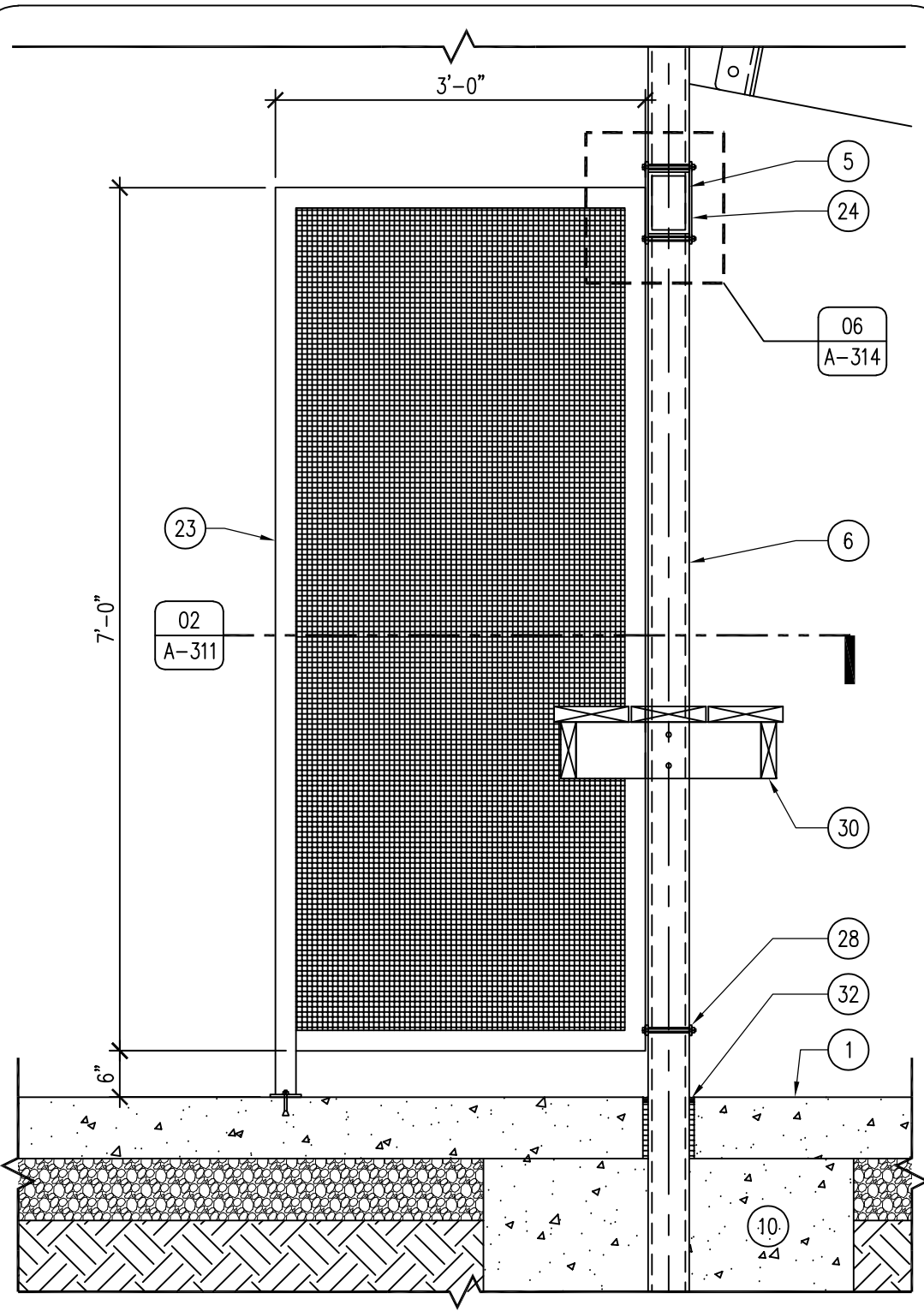
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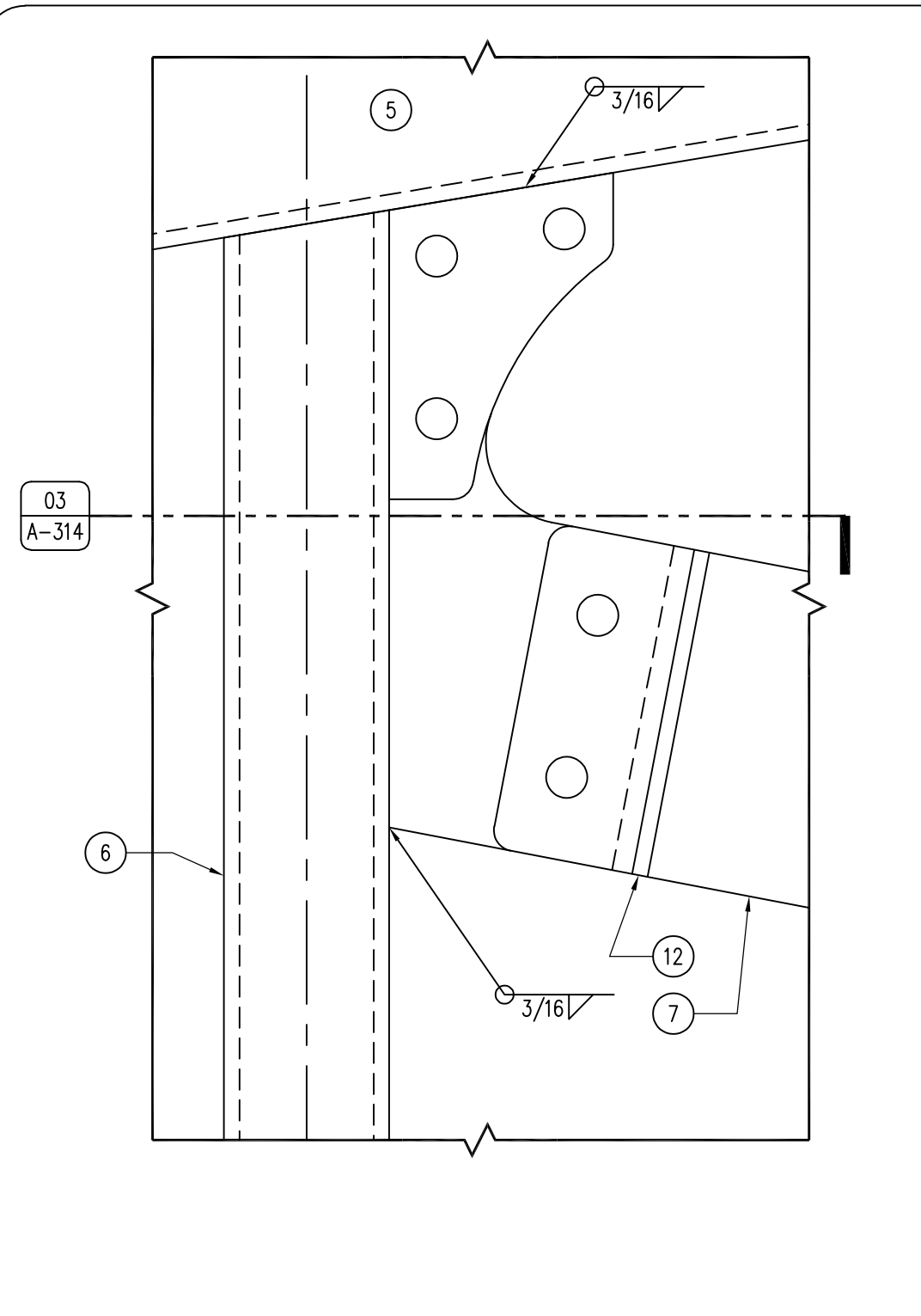


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Long Grove, IA 52756  
30245 220th Ave.

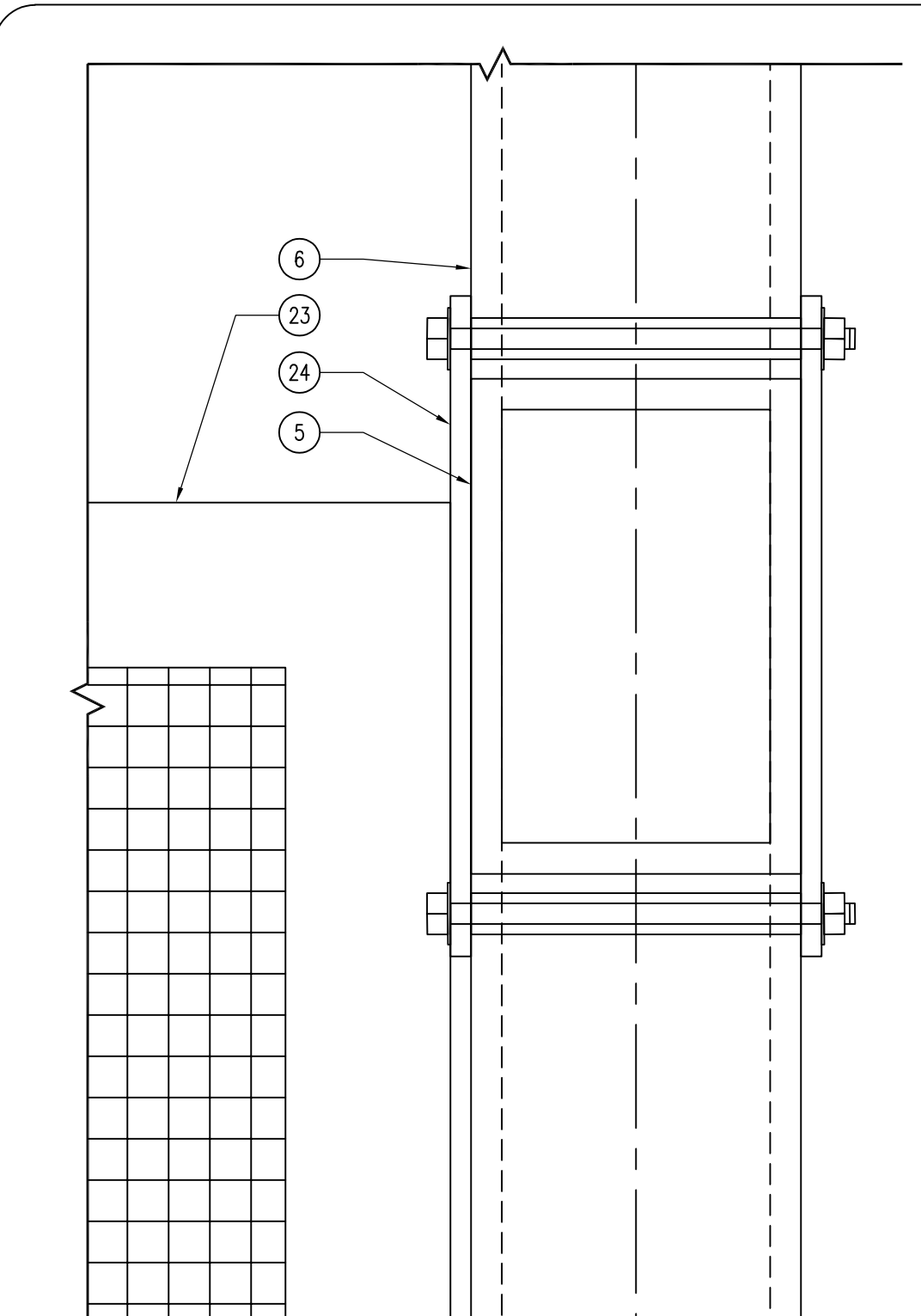
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CHK'D BY: DATE: 06.20.2023			
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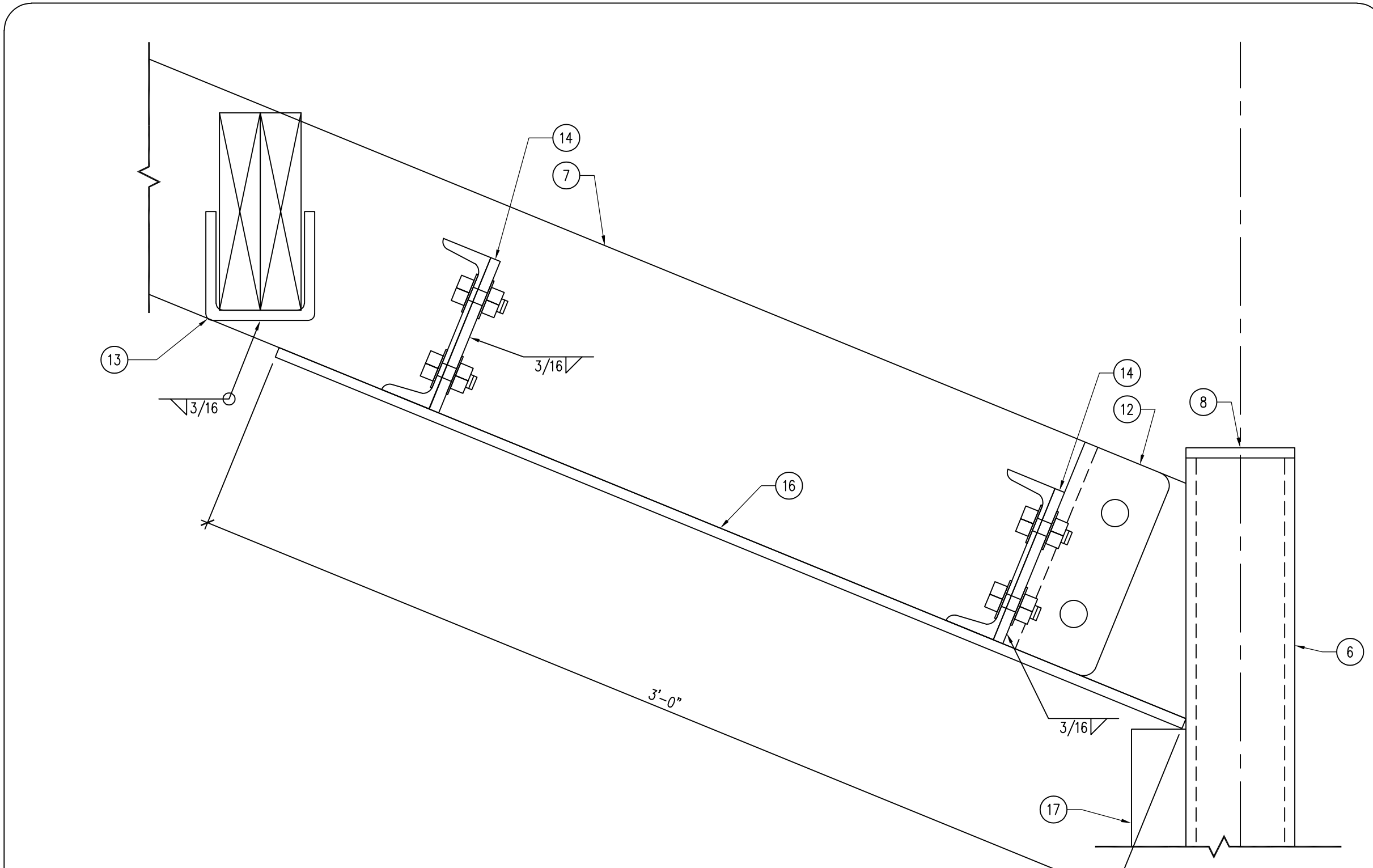
**08** DETAIL – SHOOTING LANE DIVIDERS  
SCALE: 3/4" = 1'-0"



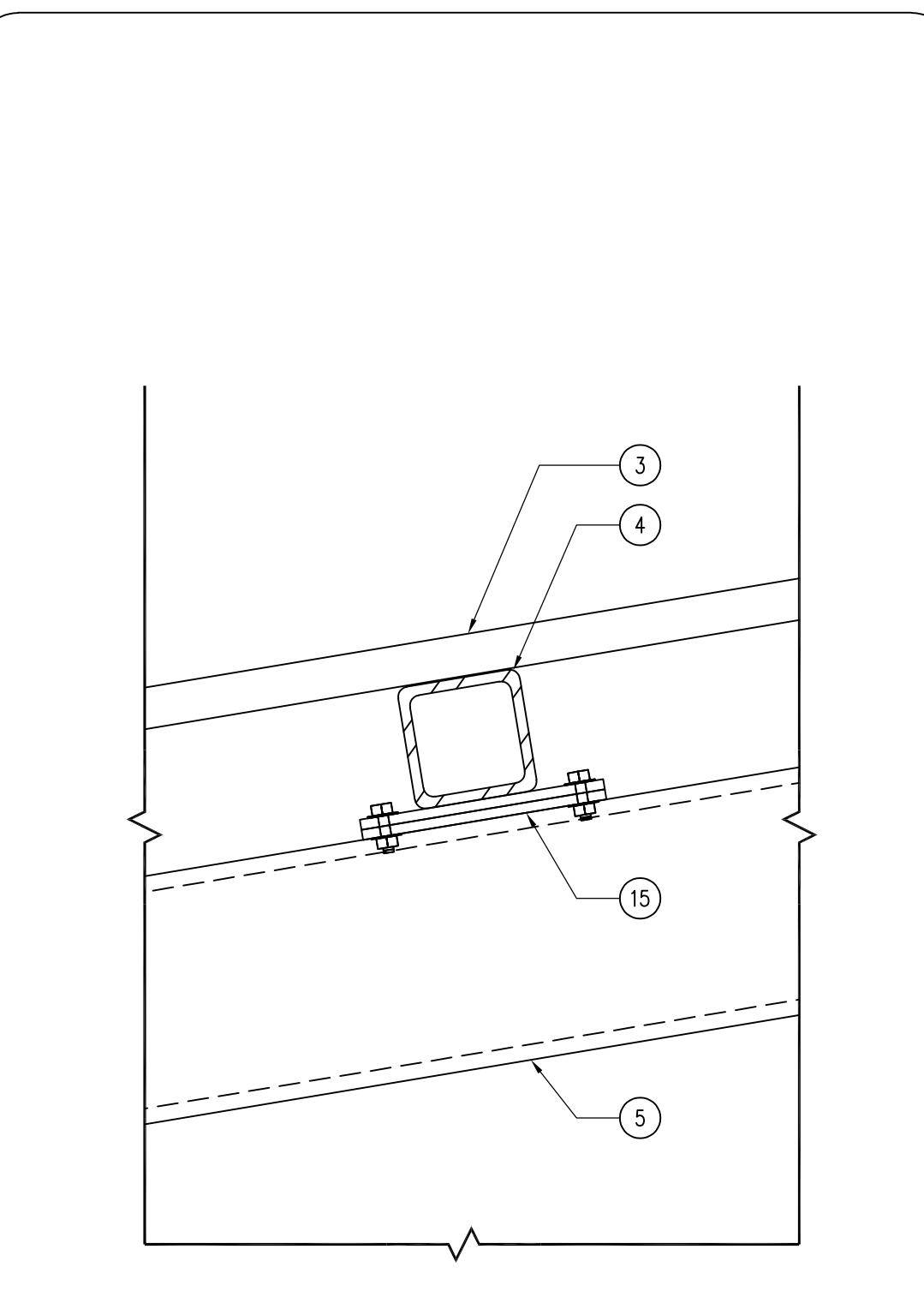
**07** DETAIL – COLUMN TO BEAM CONNECTION  
SCALE: 3" = 1'-0"



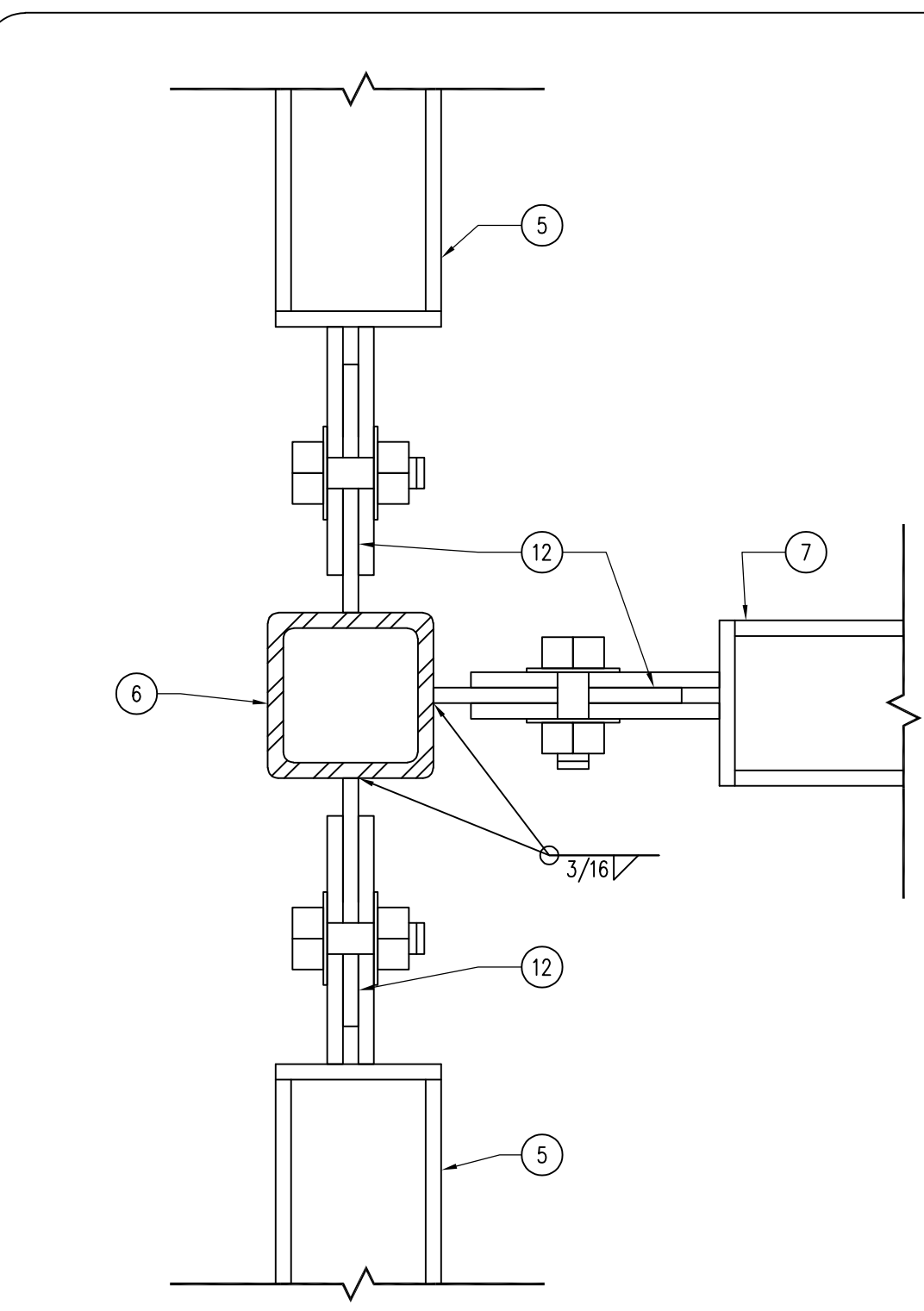
**06** DETAIL – LANE DIVIDER / BEAM ATTACH.  
SCALE: 6" = 1'-0"



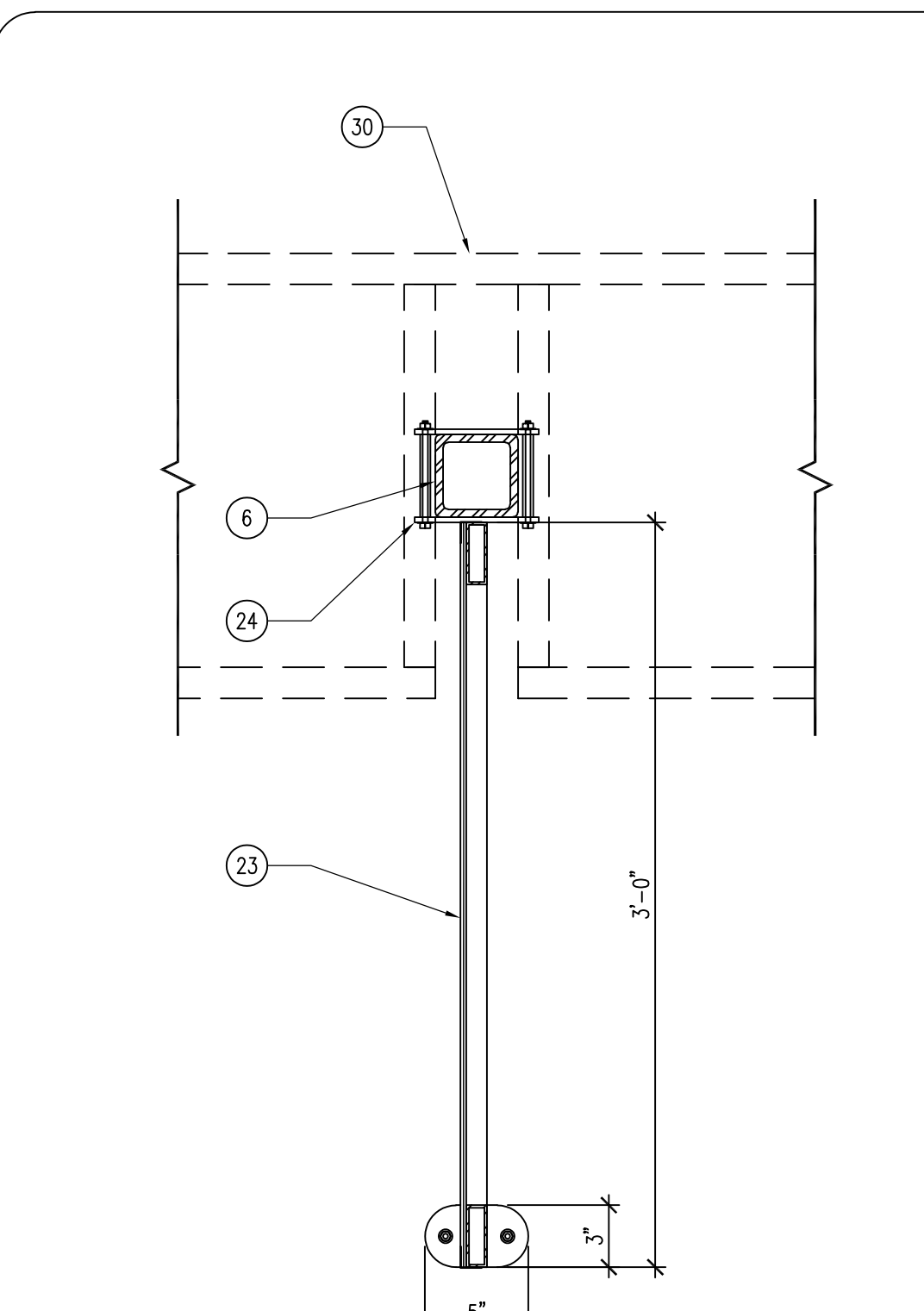
**05** DETAIL – STEEL SHOOTING BAFFLE  
SCALE: 3" = 1'-0"



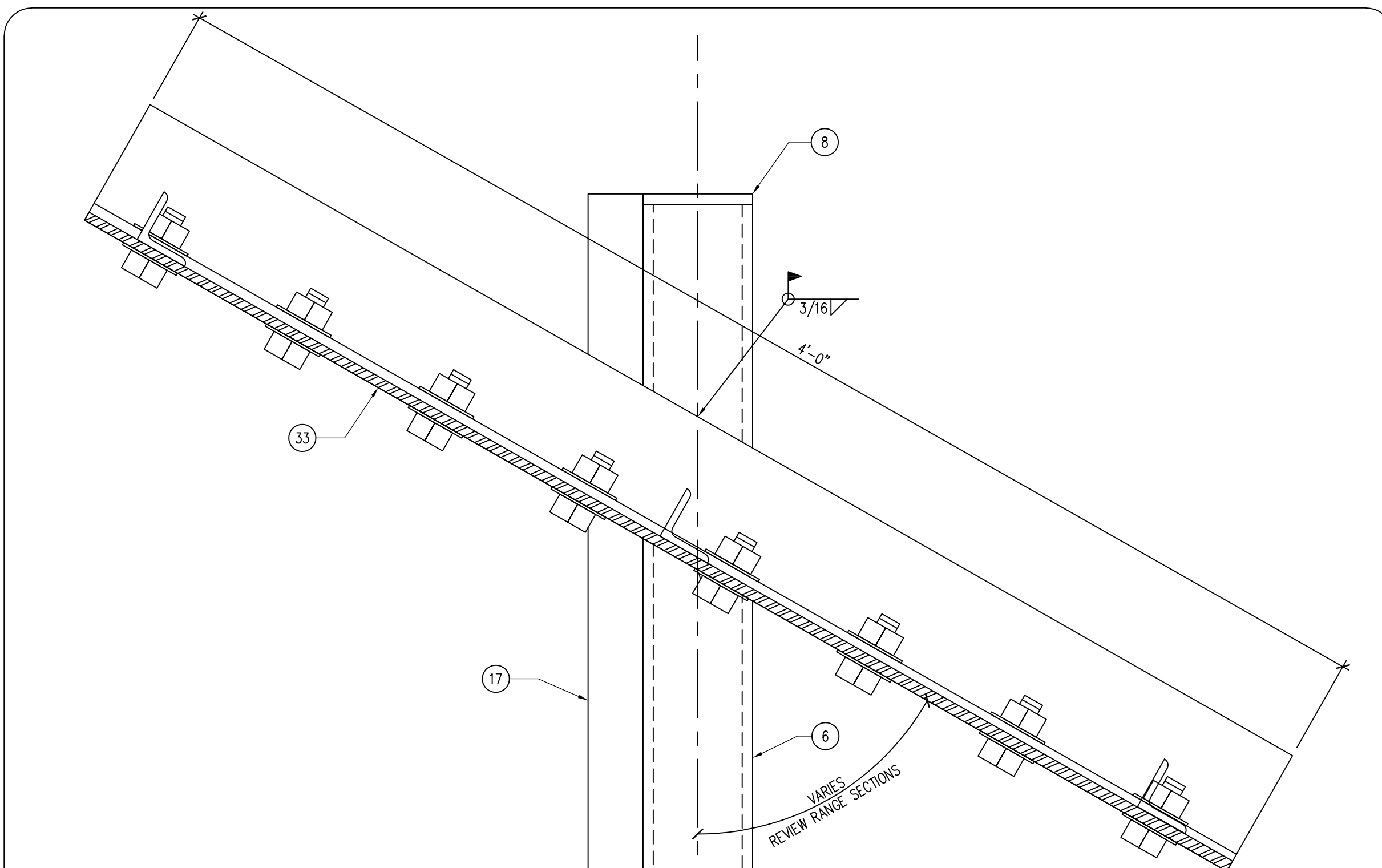
**04** DETAIL – ROOF PURLIN  
SCALE: 3" = 1'-0"



**03** DETAIL – COLUMN TO BEAM CONNECTION  
SCALE: 3" = 1'-0"



**02** DETAIL – COLUMN & LANE DIVIDER  
SCALE: 3" = 1'-0"



**01** DETAIL – DOWN-RANGE STEEL SHOOTING BAFFLE  
SCALE: 1 1/2" = 1'-0"

**KEYNOTES**

1. 6" CONCRETE SLAB OVER 6" SUBBASE WITH #4 REBAR 24" O.C. BOTH DIRECTIONS, SLOPE 1% AWAY FROM SHOOTING LINE.
2. CONCRETE SHOOTING BENCH (SUPPLIED BY OWNER), INSTALLED 5'-0" O.C. BY CONTRACTOR.
3. MCELROY MAX-RIB ULTRA ROOFING WITH ALL TRIM, OR APPROVED EQUAL, COLOR TBD.
4. HSS 3X3X1/2" 24" O.C.
5. HSS 4X4X3/8" BEAM, ATTACHED 3/8" END PLATE BOTH SIDES, WELD AND GRIND SMOOTH.
6. HSS 4X4X3/8" COLUMN.
7. HSS 8X4X3/8" BEAM, REMOVABLE. ADJUST ANGLE AND MOUNTING HEIGHT IN FIELD WITH DNR STAFF.
8. 3/8" CAP PLATE, WELD & GRIND SMOOTH.
9. 16"X16" SQUARE FORMED CONCRETE PIER CAP EXTENSION 12" TALL, CHAMFER OR TOOL TOP EDGE.
10. 36" DIAMETER CONCRETE FOOTING WITH #4 REBAR 12" O.C. ALL DIRECTIONS, 48" DEEP MINIMUM. POUR FIRST 12" FOOTING FOR COLUMN BASE PLATE ATTACHMENT, THEN POUR REMAINDER OF THE FOOTING ONCE ALL COLUMNS HAVE BEEN SET.
11. COLUMN BASE PLATE 3/2"X9X9 WITH 4 - 3/2" WEDGE ANCHORS, FOR ERECTION ONLY. LEVEL AND INSERT NON-SHRINK GROUT UNDER PLATE.
12. 3/8" END PLATE WELDED AND GROUND SMOOTH WITH 3/8" KNIFE PLATE TO CONNECT TO 3/8" SHEAR TAB WITH 2 - 3/4" DIAMETER M.B., TYPICAL EACH END.
13. 2 - 2X8 TREATED BAFFLES SCREENED TOGETHER WITH 2 - 2 1/2" LONG #10 STAINLESS DECK SCREWS, 24" O.C. ENTIRE LENGTH. SET IN A HSS 8X4X3/8"X4" LONG CUT IN HALF TO MAKE A "U" HANGER. PROVIDE HOLE FOR #10 SCREW ON BOTH SIDES.
14. 3/8"X6 END PLATE WITH EXTENSIONS TO CARRY PLATE ASSEMBLY AND 2-1/2" M.B., TYPICAL.
15. 1/2"X6X6 PLATES, WELD TO PURLIN/BENCH. BOLT WITH 4 - 1/2" STAINLESS BOLTS, NUTS, WASHERS.
16. REMOVABLE ASSEMBLY OF 3/8"X10"-0"X3'-0" AR400 STEEL PLATE WELDED TO C6X8.2 CHANNELS THAT ARE BOLTED TO THE SHEAR TABS ON THE BEAMS, STIFFEN ASSEMBLY WITH STEEL ANGLES AS NECESSARY. ADJUST MOUNTING PLACEMENT WITH DNR STAFF FOR PROPER ANGLES AND HEIGHTS.
17. 4X4X3/8" STEEL ANGLE, TACK WELD ANGLE TO FACE OF COLUMN.
18. TREATED 2X8 BENCH LUMBER, ATTACH AT EACH SUPPORT WITH 3 - 3" #10 STAINLESS SCREWS.
19. TREATED 2X4 BENCH LUMBER, ATTACH AT EACH SUPPORT WITH 2 - 3" #10 STAINLESS SCREWS.
20. TREATED 2X4 BENCH LUMBER, ATTACH AT EACH SUPPORT WITH 2 - 3" #10 STAINLESS SCREWS.
21. TREATED 2X6 BOTH SIDES OF STEEL COLUMN, ATTACHED WITH 2 - 3/8" DIAMETER HDG HEX-HEAD BOLTS AND NUTS, WITH FENDER AND LOCK WASHERS BOTH SIDES.
22. INTERMEDIATE HSS 4X4X3/8" POST WITH 9X9X1/2" BASE SUPPORT FLANGE, 10'-0" O.C. EQUALLY SPACED BETWEEN STEEL STRUCTURAL COLUMNS TO SUPPORT WOOD SHOOTING BENCHES AND SITTING BENCHES. ATTACH POSTS TO SLAB WITH FOUR 3/8" DIAMETER EXPANSION ANCHORS ON EACH CORNER OF SUPPORT FLANGE.
23. SHOOTING LANE DIVIDER (7'-0" TALL X 3'-0" WIDE), TWO LAYERS SQUARE WEAVE GALVANIZED WIRE MESH (#4), 3/2" SQUARE OPENING MAXIMUM. FRAME TO BE 1X2 TUBE STEEL MITERED, WELDED AND GROUND SMOOTH. TACK WELD MESH TO TUBE FRAME AND THEN ADD A 1" X 1" X 14 GA ANGLE TO OUTSIDE OF ASSEMBLY TO HEM MESH. CLAMP WITH TWO 1/2" PLATES AS SHOWN. EXTEND OUTSIDE LEG 6" AND ADD 1/2" PLATE FOR 1/2" WEDGE ANCHORS TO CONCRETE.
24. 2 - 1/2"X9X12 SLOTTED PLATE, WELD ONE TO LANE DIVIDER. BOLT-CLAMP TO OVERHEAD BEAM WITH 4 - 1/2" STAINLESS BOLTS, NUTS, WASHERS AND SLEEVES.
25. 1" KEYED WALL EXPANSION JOINT WITH EXPANSION MATERIAL AND CONTINUOUS EXTERIOR POLYURETHANE CALK.
26. ROOF LINE OVERHEAD.
27. END PLATE 3/8" WELDED AND GROUND SMOOTH WITH 3/8" KNIFE PLATE TO CONNECT TO 3/8" SHEAR TAB WITH 2 - 3/4" DIAMETER HDG BOLTS, TYPICAL EACH END.
28. 1/2"X9X2 PLATE, WELD ON TO LANE DIVIDER. BOLT-CLAMP WITH 2 - 1/2" STAINLESS BOLTS, NUTS, WASHERS AND SLEEVES.
29. TREATED WOOD SEATING BENCH, MOUNT 1'-6" A.F.F., REFER TO DETAIL 05/A-311.
30. TREATED WOOD SHOOTING BENCH, MOUNT 3'-2" A.F.F., REFER TO DETAIL 03/A-311.
31. TREATED WOOD ADA SHOOTING BENCH, MOUNT 2'-6" A.F.F., REFER TO DETAIL 04/A-311.
32. 3/8" EXPANSION MATERIAL WITH CONTINUOUS EXTERIOR POLYURETHANE SEALANT.
33. REMOVABLE ASSEMBLY OF 3/8"X10"-0"X4'-0" AR400 STEEL PLATE BOLTED TO 3/8"X3"X3" ANGLES THAT ARE WELDED TO VERTICAL FACE OF COLUMN, STIFFEN ASSEMBLY WITH STEEL ANGLES AS NECESSARY. ADJUST MOUNTING PLACEMENT WITH DNR STAFF FOR PROPER ANGLES AND HEIGHTS.
34. CONCRETE SIDEWALK, REFER TO CIVIL DRAWINGS.
35. 3/8" X 4" DEEP CRUSHED STONE SURFACE.
36. 8" THICK X 8'-0" HIGH, ABOVE GROUND, CONCRETE SIDEWALK RANGE DIVIDER WITH #5 REBAR 24" O.C. BOTH DIRECTIONS.

**GENERAL NOTES**

- A. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ALL DIMENSIONS AND ANGLES FOR BAFFLING SYSTEM ARE APPROXIMATE AND SHALL BE FIELD VERIFIED WITH OWNER PRIOR TO PERMANENT INSTALLATION.
- B. ALL STEEL TO BE POWDER COATED, COLOR TBD.
- C. ALL STRUCTURAL HARDWARE TO BE HOT-DIPPED GALVANIZED (HDG), ALL ACCESSORY HARDWARE AND SCREWS TO BE STAINLESS STEEL.

CONSULTANT:

**IOWA DEPARTMENT OF NATURAL RESOURCES**  
ENGINEERING SERVICES - WALLACE BUILDING  
502 E. 9TH ST., DES MOINES, IA 50319-0034  
P: 515.725.8200  
F: 515.725.8202



**SHOOTING STRUCTURE DETAILS**

RANGE RENOVATION PHASE I FOR:  
**DLS SHOOTING RANGE**

Long Grove, IA 52756

30245 220th Ave.

NO.	BY	DATE	REVISION
1	07/14/24	R ROEY	ADDENDUM #1

DRAWN BY: PROJECT NUMBER: 23-06-82-01  
CHK'D BY: DATE: 06.20.2023  
SHEET NO:

**A-314**

**Asbestos Reporting**

DLS Shooting Range  
30245 220<sup>th</sup> Avenue  
Long Grove IA 52756

**Prepared for**

Land & Waters Bureau, Engineering Section  
Iowa Department of Natural Resources  
502 E 9<sup>th</sup> Street  
Des Moines IA 50319

**Presented by**

AUGUST ENTERPRISES, LLC  
PO Box 295  
Jefferson IA 50129

DLS Shooting Range, 30245 200<sup>th</sup> Avenue, Long Grove, Scott County, IA 52756; circa 1969

Interior ; Clubhouse			
DLS-01	linoleum, tan/gold	<b>30% Chrysotile asbestos</b>	kitchen flooring, 13 x 7 ft
DLS-02	ceiling tile, gray/white	None detected	kitchen ceiling finish
DLS-03	insulation, pink	None detected	kitchen
Interior, 2 <sup>nd</sup> level West			
DLS-04	12inch flooring, tan/black	None detected	20 x 12 ft, 2 <sup>nd</sup> W living room
DLA-05	drywall, brown/white	None detected	W living room wall finish
DLS-06	texture, gray/white	None detected	W living room wall finish
DLS-07	plaster, white	None detected	wall patch 4 sf, W LR finish
DLS-08	drywall, brown/white	None detected	interior ceiling finish
DLS-09	texture, white	<1% Chrysotile asbestos	interior ceiling finish
DLS-10	bath tile, brown/white	None detected	bath floor finish, 11 x 5 ft
DLS-11	adhesive, brown	None detected	bath, glue for tile
Interior, 2 <sup>nd</sup> level East			
DLS-12	linoleum, brown/tan	None detected	E kitchen, 11 x 12 ft
DLS-13	linoleum, tan/white	<b>25% Chrysotile asbestos</b>	<b>E living room threshold &lt;3 sf</b>
DLS-14	drywall, brown/white	None detected	E living room interior finish
DLS-15	texture, gray/white	None detected	E living room interior finish
DLS-16	linoleum, tan/white	<b>25% Chrysotile asbestos</b>	<b>E bath floor, 5 x 5 ft</b>
DLS-17	ceiling texture, white	<b>3% Chrysotile asbestos</b>	W room from kitchen, 100 sf
Interior, 1 <sup>st</sup> floor			
DLS-18	drywall, brown/white	None detected	interior wall finish
Exterior			
DLS-19	granulated, brown/black	None detected	3 tab roofing shingles
DLS-20	white sealant, gray/white	None detected	<1sf sealant furnace vent
DLS-21	black tar	None detected	furnace vent, < 1 sf
DLS-22	white sealant, brown/white	None detected	220 lft seal/window frames+Door
DLS-23	tar, gray/black patching	<b>2% Chrysotile asbestos</b>	West addition roof 32 x 60 ft
DLS-24	granulated, gray/white/black	None detected	West addition 32 x 60 ft
DLS-25	insulation, gray/pink	None detected	West addition
Storage			
DLS-26	linoleum, white/beige	None detected	18 x 30 ft flooring
DLS-27	ceiling tile, gray/white	None detected	West room
DLS-28	drywall, brown/white	None detected	Middle room
DLS-29	white sealant, white/clear, <9 sf	None detected	roof, 1 protrusion + NE patches

Polarized Light Microscopy (PLM) Asbestos Reporting EPA Method 600/R-93/116  
Samples taken 04/27/23 Received 05/01/23 Analyzed 05/05/23 e-Reported 05/05/2023

DLS Shooting Range, 30245 200<sup>th</sup> Avenue, Long Grove, Scott County, IA 52756; circa 1969

**CONTINUED: Reporting**

Notes: A thorough asbestos inspection was performed prior to demolition, with chain of custody submittal to an accredited laboratory for analytical reporting.

When a contractor is to be used with materials greater than 1% asbestos content then that contractor and employees must be accredited for asbestos removal (Iowa Administrative Code, Chapters 155, 88)

Consultant Nate N. Nielson, Asbestos Inspector 22-8831 Nate N. Nielson  
Analyst Hilary Jarvis  
Laboratory EMSL Analytical Inc. is a NIST accredited NVLAP laboratory for PLM analysis.

AUGUST ENTERPRISES, LLC 104 W Clark St. Jefferson IA 50129 Office: 515-386-3477





# EMSL Analytical, Inc.

6340 CastlePlace Dr. Indianapolis, IN 46250

Tel/Fax: (317) 803-2997 / (317) 803-3047

http://www.EMSL.com / indianapolislab@emsl.com

EMSL Order: 162309470

Customer ID: AUGU77

Customer PO:

Project ID:

**Attention:** Roger Neilson  
August Enterprise, LLC  
PO Box 295  
104 West Clark Street  
Jefferson, IA 50129

**Phone:** (515) 370-1984

**Fax:** (515) 386-3477

**Received Date:** 05/01/2023 9:40 AM

**Analysis Date:** 05/05/2023

**Collected Date:** 04/27/2023

**Project:** Long Grove

## Test Report: Asbestos Analysis of Bulk Materials via AHERA Method 40CFR 763 Subpart E Appendix E supplemented with EPA 600/R-93/116 using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
DLS-01 162309470-0001	Clubhouse Kitchen - Linoleum	Tan/Gold Fibrous Heterogeneous		70% Non-fibrous (Other)	30% Chrysotile
DLS-02 162309470-0002	Kitchen - Ceiling Tile	Gray/White Fibrous Homogeneous	60% Cellulose 20% Min. Wool	15% Perlite 5% Non-fibrous (Other)	None Detected
DLS-03 162309470-0003	Kitchen - Insulation	Pink Fibrous Homogeneous	98% Glass	2% Non-fibrous (Other)	None Detected
DLS-04 162309470-0004	2nd W Living Rm - 12x12	Tan/Black Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
DLS-05 162309470-0005	W Living Rm Wall - Drywall	Brown/White Fibrous Heterogeneous	30% Cellulose	60% Gypsum 10% Non-fibrous (Other)	None Detected
DLS-06 162309470-0006	W Living Rm Wall - Texture	Gray/White Non-Fibrous Homogeneous		10% Quartz 90% Non-fibrous (Other)	None Detected
DLS-07 162309470-0007	W Living Rm Wall Patch - Plaster	White Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
DLS-08 162309470-0008	W Living Rm Ceiling - Drywall	Brown/White Fibrous Heterogeneous	50% Cellulose	40% Gypsum 10% Non-fibrous (Other)	None Detected
DLS-09 162309470-0009	W Living Rm Ceiling - Texture	White Non-Fibrous Homogeneous		5% Quartz 95% Non-fibrous (Other)	<1% Chrysotile
DLS-10 162309470-0010	2nd W Bath - Bath Tile	Brown/White Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
DLS-11 162309470-0011	2nd W Bath - Adhesive	Brown Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
DLS-12 162309470-0012	2nd E Kitchen - Linoleum	Brown/Tan Fibrous Heterogeneous	30% Cellulose 10% Synthetic	60% Non-fibrous (Other)	None Detected
DLS-13 162309470-0013	2nd E @ Living Rm Threshold - Linoleum	Tan/White Fibrous Heterogeneous	5% Cellulose	70% Non-fibrous (Other)	25% Chrysotile
DLS-14 162309470-0014	2nd E - Drywall	Brown/White Fibrous Heterogeneous	30% Cellulose	60% Gypsum 10% Non-fibrous (Other)	None Detected
DLS-15 162309470-0015	2nd E - Texture	Gray/White Non-Fibrous Homogeneous		10% Quartz 90% Non-fibrous (Other)	None Detected
DLS-16 162309470-0016	2nd E Bath - Linoleum	Tan/White Fibrous Heterogeneous		75% Non-fibrous (Other)	25% Chrysotile

Initial report from: 05/05/2023 11:39:45



# EMSL Analytical, Inc.

6340 CastlePlace Dr. Indianapolis, IN 46250

Tel/Fax: (317) 803-2997 / (317) 803-3047

http://www.EMSL.com / indianapolislab@emsl.com

EMSL Order: 162309470

Customer ID: AUGU77

Customer PO:

Project ID:

## Test Report: Asbestos Analysis of Bulk Materials via AHERA Method 40CFR 763 Subpart E Appendix E supplemented with EPA 600/R-93/116 using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
DLS-17 162309470-0017	2nd E W Room from Kitchen - Ceiling Texture	White Non-Fibrous Homogeneous		97% Non-fibrous (Other)	3% Chrysotile
DLS-18 162309470-0018	1st Floor Walls - Drywall	Brown/White Fibrous Heterogeneous	30% Cellulose	60% Gypsum 10% Non-fibrous (Other)	None Detected
DLS-19 162309470-0019	Roof - 3tab Roofing	Brown/Black Fibrous Heterogeneous	15% Glass	85% Non-fibrous (Other)	None Detected
DLS-20 162309470-0020	Roof Furnace Vent - White Sealant	Gray/White Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
DLS-21 162309470-0021	Roof Furnace Vent - Black Tar	Black Fibrous Homogeneous	15% Cellulose	85% Non-fibrous (Other)	None Detected
DLS-22 162309470-0022	Window Frames 1st Floor + S Entry - White Sealant	Brown/White Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
DLS-23 162309470-0023	W Addition Roof - Tar Patching	Gray/Black Non-Fibrous Homogeneous		98% Non-fibrous (Other)	2% Chrysotile
DLS-24 162309470-0024	W Addition - Rolled Roofing	Gray/White/Black Fibrous Heterogeneous	35% Cellulose	65% Non-fibrous (Other)	None Detected
DLS-25 162309470-0025	W Addition - Insulation	Gray/Pink Fibrous Homogeneous	95% Glass	5% Non-fibrous (Other)	None Detected
DLS-26 162309470-0026	Storage Addition - Linoleum	White/Beige Fibrous Heterogeneous	30% Cellulose 5% Synthetic	65% Non-fibrous (Other)	None Detected
DLS-27 162309470-0027	W Room - Ceiling Tile	Gray/White Fibrous Homogeneous	60% Cellulose 20% Min. Wool	15% Perlite 5% Non-fibrous (Other)	None Detected
DLS-28 162309470-0028	Middle Room - Drywall	Brown/White Fibrous Heterogeneous	40% Cellulose	50% Gypsum 10% Non-fibrous (Other)	None Detected
DLS-29 162309470-0029	Roof - White Sealant	White/Clear Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected

Analyst(s)

Hilary Jarvis (29)

Asbestos Laboratory Manager  
or Other Approved Signatory

EMSL maintains liability limited to cost of analysis. Interpretation and use of test results are the responsibility of the client. This report relates only to the samples reported above, and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. The report reflects the samples as received. Results are generated from the field sampling data (sampling volumes and areas, locations, etc.) provided by the client on the Chain of Custody. Samples are within quality control criteria and met method specifications unless otherwise noted. The above analyses were performed in general compliance with Appendix E to Subpart E of 40 CFR (previously EPA 600/M4-82-020 "Interim Method") but augmented with procedures outlined in the 1993 ("final") version of the method. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Estimation of uncertainty is available on request.

Samples analyzed by EMSL Analytical, Inc. Indianapolis, IN NVLAP Lab Code 200188-0, AZ0939, CA 2575, CO AL-15132, TX 300262, A2LA Accredited - Certificate #2845,25

Initial report from: 05/05/2023 11:39:45



EMSL ANALYTICAL, INC.  
LABORATORY PRODUCTS DIVISION

## Asbestos Bulk Building Material Chain of Custody

EMSL Order Number (lab use only):

162309470

Company Name: <b>AUGUST ENTERPRISES LLC</b>		EMSL Customer ID: <b>AUG177</b>	
Street: <b>104 West Clark Street</b>		City: <b>Jefferson</b>	State or Province: <b>Iowa</b>
Zip/Postal Code: <b>50129</b>	Country: <b>Greenland</b>	Telephone #: <b>515 386 3477</b>	Fax #:
Report To (Name): <b>Roger C Nielson</b>		Please Provide Results via: <input type="checkbox"/> Fax <input checked="" type="checkbox"/> Email	
email Address: <b>augustentllc@yahoo.com</b>		Purchase Order Number:	
Client Project ID: <b>LONG GROVE</b>		EMSL Project ID (internal use only):	
State or Province Collected:		CT only <input type="checkbox"/> Commercial/Taxable <input type="checkbox"/> Residential/Tax Exempt <input type="checkbox"/>	
EMSL-Bill to: <input type="checkbox"/> Same <input type="checkbox"/> Different - If bill to is different note instructions in comment. Third party billing requires written authorization from third party			
Turnaround Time (TAT) Options Please Check			
<input type="checkbox"/> 3 Hour	<input type="checkbox"/> 6 Hour	<input type="checkbox"/> 24 Hour	<input type="checkbox"/> 32 Hour <input type="checkbox"/> 48 Hour <input type="checkbox"/> 72 Hour <input type="checkbox"/> 96 Hour <input type="checkbox"/> 1 Week <input type="checkbox"/> 2 Week
*32 Hour TAT available for select tests only; samples must be submitted by 11:30am. Please call ahead for large projects and/or turnaround times 6 hours or less.			
<b>PLM - Bulk (reporting limit)</b>		<b>TEM - Bulk</b>	
<input checked="" type="checkbox"/> PLM EPA 800/R-93/118 (<1%)		<input type="checkbox"/> TEM EPA NOB - EPA 800/R-93/118 Section 2.5.5.1	
<input type="checkbox"/> PLM EPA NOB (<1%)		<input type="checkbox"/> NY ELAP Method 198.4 non-friable - NY	
Point Count <input type="checkbox"/> 400 (<0.25%) <input type="checkbox"/> 1000 (<0.1%)		<input type="checkbox"/> Chatfield Protocol (semi-quantitative)	
Point Count w/Gravimetric <input type="checkbox"/> 400 (<0.25%) <input type="checkbox"/> 1000 (<0.1%)		<input type="checkbox"/> TEM % by Mass - EPA 800/R-93/116 Section 2.5.5.2	
<input type="checkbox"/> NIOSH 9002 (<1%)		<input type="checkbox"/> TEM Qualitative via Filtration Prep Technique	
<input type="checkbox"/> NY ELAP Method 198.1- friable - NY		<input type="checkbox"/> TEM Qualitative via Drop Mount Prep Technique	
<input type="checkbox"/> NY ELAP Method 198.6 NOB- non-friable - NY		Other tests (please specify)	
<input type="checkbox"/> NY ELAP Method 198.8- Vermiculite Surfacing Material			
<input type="checkbox"/> OSHA ID-191 Modified			
<input type="checkbox"/> EMSL Standard Addition Method			
<input type="checkbox"/> Positive Stop - Clearly Identify Homogenous Areas (HA)		Date Sampled: <b>( 27 2023 )</b>	
Sampler's Name: <b>Nate N. Nielson</b>		Sampler's Signature: <i>Nate N. Nielson</i>	
Sample #	HA #	Sample Location	Material Description
DLS-01		Clubhouse Kitchen 13'x7'	Linooleum
=02		Kitchen	ceiling tile
-03		Kitchen	Insulation
-04		2nd W LungRm 20'x12'	12x12
05		W LungRm wall	drywall
06		W LungRm wall	Texture
Client Sample # (s): <b>DLS-01</b>		<b>DLS-29</b>	Total # of Samples: <b>29</b>
Relinquished by (Client): <b>Roger C Nielson</b>		Date: <b>4/28/2023</b>	Time: <b>1h</b>
Received by (Lab): <b>987</b>		Date: <b>5/1/23</b>	Time: <b>9:40am RY</b>
Comments/Special Instructions:			

EMSL ANALYTICAL, INC.  
LABORATORY PRODUCTS TRADING

## Asbestos Bulk Building Material Chain of Custody

EMSL Order Number (lab use only):

09470

Additional pages of the Chain of Custody are only necessary if  
needed for additional sample information

AUGUST ENTHLC      DLS

Sample #	HA #	Sample Location	Material Description
07	-	2nd W Living Room wall patch <4'sq	Plaster
08		2nd W Living Room ceiling	Drywall
09		2nd W Living Room ceiling	Texture
10		2nd W Bath 11 x 5	bath tile
11		2nd W Bath 11 x 5	adhesive
12		2nd E Kitchen 4 x 12	Linoleum
13		2nd E @ Living Room threshold <3'sq	Linoleum
14		2nd E	Drywall
15		2nd E	Texture
16		2nd E bath 5 x 5	Linoleum
17		2nd E W room from kitchen	ceiling texture
18		1st floor walls	drywall
19		Roof	3 tab roofing
20		Roof <del>Exhaust</del> Furnace vent	white sealant <1'sq
21		Roof Furnace vent	Black tar <1'sq
22		<del>Window</del> Window frames + 5' entry 1st floor	White sealant <220'ls
23		W addition Roof 32 x 60	Tar patching
24		W addition	Roller roofing
25		W addition	Insulation
*Comments/Special Instructions:			

Page 2 of 3 pages

Controlled Document - CQC-01 Asbestos Bulk - R4 - 09/10/2010

EMSL Analytical, Inc.'s (OBA: LA Testing) Laboratory Terms and Conditions are incorporated into this chain of custody by reference in their entirety. Submission of samples to EMSL Analytical Inc. constitutes acceptance and acknowledgment of all terms and conditions.



### Asbestos Bulk Building Material

### Chain of Custody

EMSL Order Number (lab use only):

EMSL ANALYTICAL INC.  
LABORATORY PRODUCTS TRAINING

09470

Additional pages of the Chain of Custody are only necessary if  
needed for additional sample information

AVOUST KNT LLC

DLS

Sample #	HA#	Sample Location	Material Description
26		storage addition 18'x 30'	Limestone
27		<del>Storage</del> w Room	ceiling tile
28		middle Room	drywall
29		Roof 1 protrusion + patching NE 9 LF	white sealant
<b>*Comments/Special Instructions:</b>			

Controlled Document - COC-01 Asbestos Bulk - R4 - 08/10/2019  
EMSL Analytical, Inc.'s (DBA: LA Testing) Laboratory Terms and Conditions are incorporated into this chain of custody by reference in their entirety. Submission of samples to EMSL Analytical, Inc. constitutes acceptance and acknowledgment of all terms and conditions.



# Scott County / City of Davenport, Iowa

## Summary - Auditor's Office

Parcel ID 041133002  
 Alternate ID  
 Property Address 30245 220TH AV  
 SCOTT COUNTY IA 0  
 Sec/Twp/Rng 11-80-04  
 Brief Sec:11 Twp:80 Rng:04PT N 1/2 SW 1/4 COM1341' N SW COR SEC11: E 1654.5'-  
 Tax Description N430'-W 1654.5' S 430' TO BEG.  
 (Note: Not to be used on legal documents)  
 Deed Book/Page 2016-13205  
 Contract  
 Book/Page  
 Gross Acres 16.33  
 Exempt Acres 16.33  
 Net Acres 0.00  
 Adjusted CSR Pts 0  
 District BTNV - BUTLER TWP NORTH SCOTT FD2  
 School District NORTH SCOTT SCHOOLS  
 Subdivision



## Owners - Auditor's Office

Deed Holder  
[STATE OF IOWA](#)  
[502 E 9TH ST](#)  
 WALLACE BLDG ATTN: PROP TAX  
 DES MOINES IA 50319-4934  
 Contract Holder  
 Mailing Address  
 IOWA DEPT OF NATURAL RESOURCES  
 PROPERTY TAX COORDINATOR  
 502 E 9TH ST  
 DES MOINES IA 50319-0034

## DBA (Doing Business As) - Assessor's Office

SHOOTING CLUB & EDUCATION CENTER (FKA: DLS GUN CLUB)

## Land - Assessor's Office

Map Area BUTLER TWP-C  
 Lot Area 16.33 Acres ; 711,400 SF

Land Sizes Used For Assessment Purposes Only. Not A Survey Of The Property.

## Commercial Buildings - Assessor's Office

Total GBA 19,204 SF  
 Total Units 0

**Building 1:** Retail - Small (<10K sf), Alum - Frame, 2 Story, Built - 1969, 2304 SF, Bsmt - 0 SF,  
 HVAC - Hot Water Radiant, Roof - Asph. Shingle/ Wood Dk  
**Adjustments:** A/C - deduct, 2304 SF  
 A/C - no upper, 2304 SF

**Addition 1:** Wrhse - General/Storage, Alum - Frame, 1 Story, Built - 1969, 2152 SF, Bsmt - 0 SF  
 HVAC - Suspended Gas Unit, Roof - Mtl/ Frm/ Insul.

**Addition 2:** Wrhse - Metal, Pole Frm, Mtl/ Frm/ Insul (51'-79' Wide) / Metal Sandwich Panel - 1", 1 Story, Built - 1971, 3906 SF, Bsmt - 0 SF  
 HVAC - Suspended Gas Unit, Roof - Metal/ Frm/ Insul (51'-79' Wide)  
**Adjustments:** Liner - wood (SFSA), 4500 SF  
 Liner - metal (SFSA), 3906 SF

**Addition 3:** Wrhse - General/Storage, Concrete - 8", 1 Story, Built - 1969, 210 SF, Bsmt - 0 SF  
 HVAC - No HVAC, Roof - Rubber Membrane/Conc  
**Adjustments:** Heat - none, 210 SF

**Addition 4:** Wrhse - General/Storage, Metal/ Frame (< 50' Wide) / Alum - Frame, 1 Story, Built - 1969, 408 SF, Bsmt - 0 SF  
 HVAC - No HVAC, Roof - Metal/ Frm/ Insul (< 50' Wide)  
**Adjustments:** Heat - none, 408 SF

**Plumbing:**  
 2 - Toilet Room  
 2 - Urinal - Wall  
 1 - Sink-Kitchen

**Building Extras:** #1- Porch (Commercial), 77 SF, Porch (commercial), Average Pricing, 1969, Qty1  
 #2- Porch (Commercial), 720 SF, Porch (commercial), Average Pricing, 1969, Qty1  
 #3- Garage, 640 SF, Frame, Average Pricing, 1969, Qty1

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**Building 2:** Wrhse - Metal, Pole Frm, Metal/ Frame (51'-79' Wide), 1 Story, Built - 1985, 7020 SF, Bsmt - 0 SF, Height - 17  
 HVAC - No HVAC, Roof - Metal/ Frame (51'-79' Wide)  
**Adjustments:** Heat - none, 7020 SF  
 Insulation - none/roll, 6018 SF

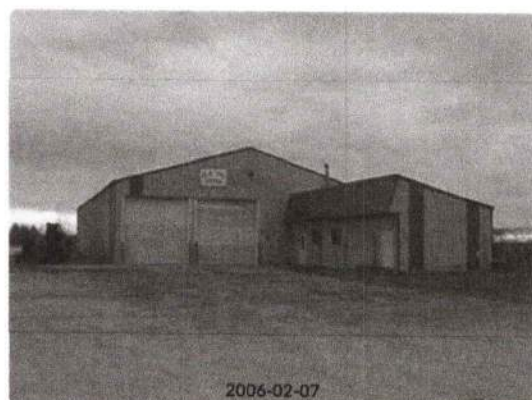
**Addition 1:** Office - Metal Office Bldg, Metal/ Frm/ Insul (<50' Wide), 1 Story, Built - 1988, 900 SF, Bsmt - 0 SF  
 HVAC - Combination FHA - AC, Roof - Metal/ Frm/ Insul (< 50' Wide)

**Building Extras:** #1- Door, O.H. - Door - Power, 14 Ft Wide, 14 Ft High, 1985, Qty2

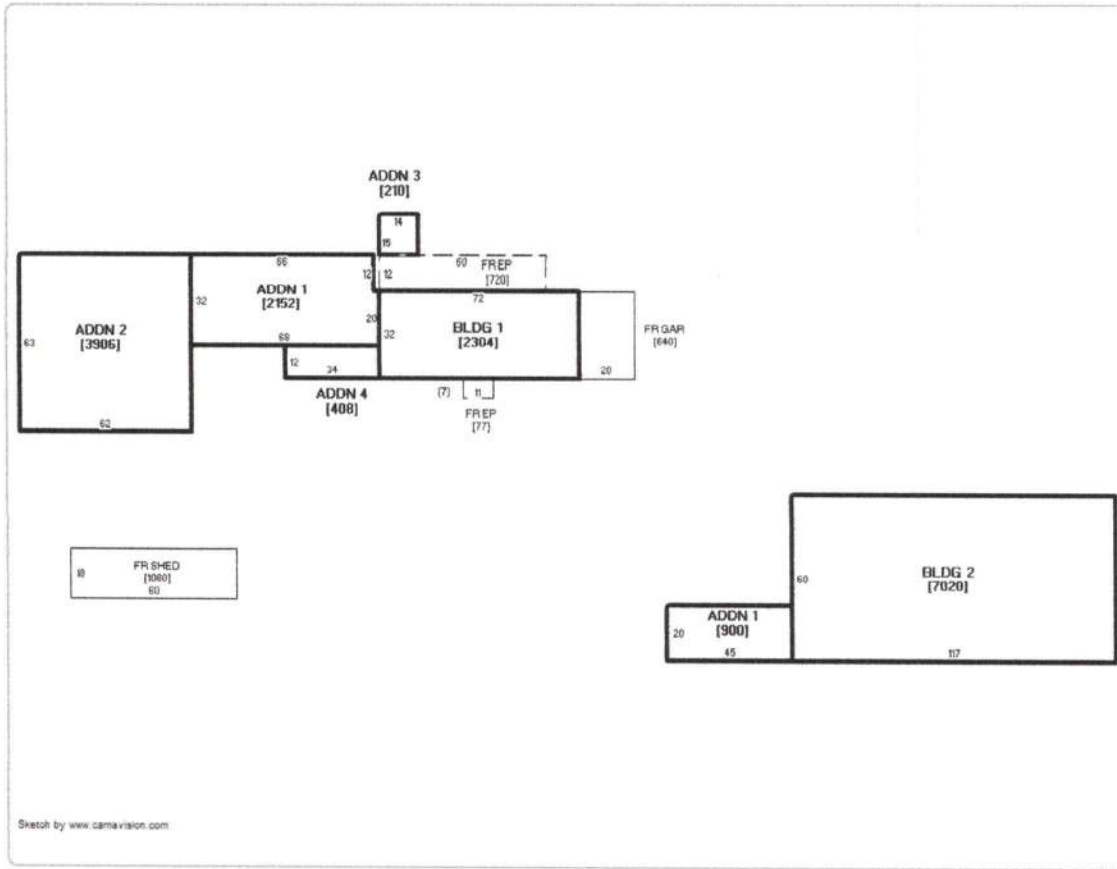
**Yard Extras - Assessor's Office**

- #1 - (1) Paving - Concrete 1,800 SF, Concrete Parking Lots, Low Pricing, Built 1970
- #2 - (8) Shed W8.00 x L8.00 64 SF, Block Shed, Average Pricing, Built 1970
- #3 - (4) Shed W7.00 x L7.00 49 SF, Frame Shed, Average Pricing, Built 1970
- #4 - (1) Shed W7.00 x L7.00 49 SF, Frame Shed, Average Pricing, Built 1970
- #5 - (1) Shed W18.00 x L60.00 1,080 SF, Frame Shed, Low Pricing, Built 1970
- #6 - (1) Fencing - Wood 6 Ft High, 120 LF, Low Fence Pricing, 0 LF gate, Built 1970
- #7 - (1) Fencing - Chain No Barbs, 7 Ft-Hgh, 270 LF, 0 LF-Gates, No Sec. Gate, Built 1969
- #8 - (1) Fencing - Chain No Barbs, 4 Ft-Hgh, 120 LF, 0 LF-Gates, No Sec. Gate, Built 1969
- #9 - (2) Yard Lighting - Fluor./Quarts 1 Poles, 20 Pole Ht, 2 Lights, 250 Watts, Built 1970
- #10 - (6) Yard Lighting - Fluor./Quarts 1 Poles, 20 Pole Ht, 4 Lights, 250 Watts, Built 1970
- #11 - (5) Yard Lighting - Sodium/Halide 1 Poles, 30 Pole Ht, 1 Lights, 400 Watts, Built 1970

**Photos - Assessor's Office**



**Sketches - Assessor's Office**



**Permits - Assessor's Office**

Permit #	Date	Description	Amount
BT01138	04/04/2012	Roof	11,000

**Sales - Assessor's Office**

Date	Seller	Buyer	Recording	Sale Condition - NUTC	Type	Multi Parcel	Amount
5/24/2016	SAWVELL DONALD C	STATE OF IOWA	<u>2016-13205</u>	EXMPT/GOV - Sale to/by a government or exempt organization	D - Deed		\$0.00
11/22/1993	THURWANGER WILLIAM H	SAWVELL DONALD C & LINDA E	<u>1993-35693</u>	OTHER - Not a typical market sale - Other	D - Deed		\$92,000.00

**Recent Sales in Area**

Sale date range:

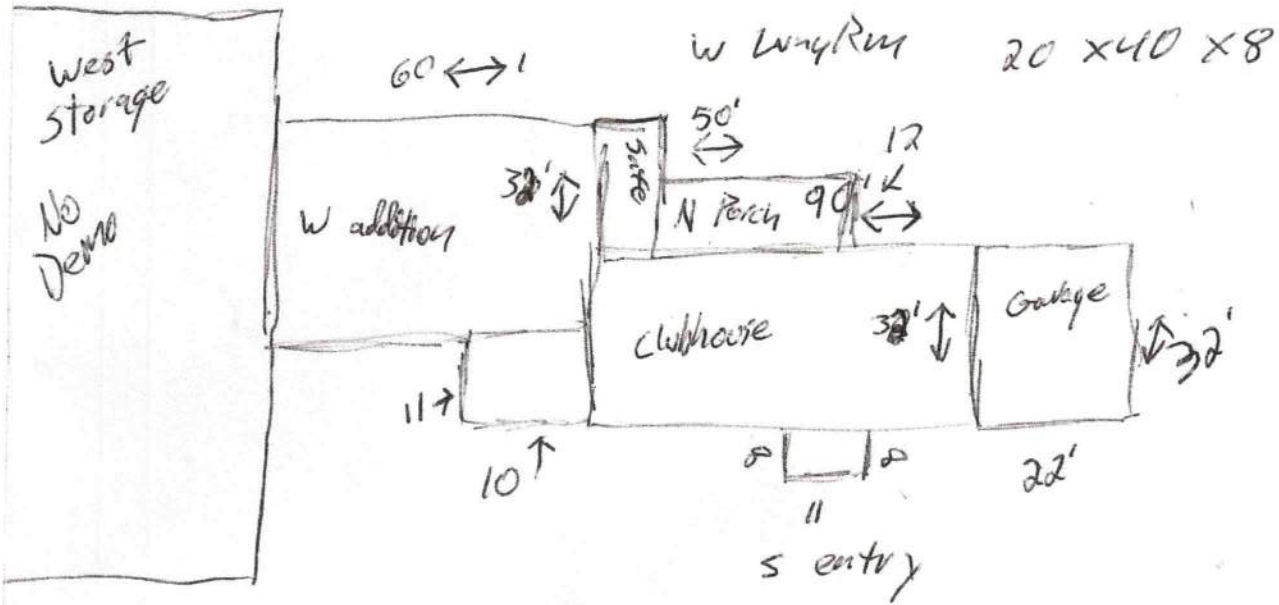
From:

05/13/2013

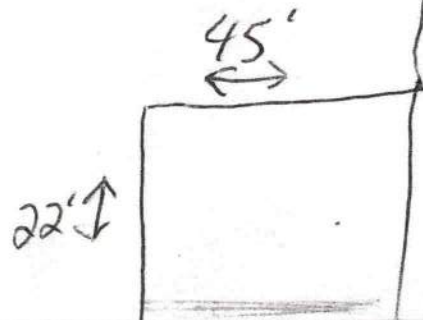
To:

05/13/2023





Not to Scale 0427 2023  
 AUGUST ENTERPRISES LLC



DLS Long Grove

From: Roger Nielson (augustentfc@yahoo.com)  
To: augustentfc@yahoo.com  
Date: Thursday, May 18, 2023 at 06:30 PM CDT



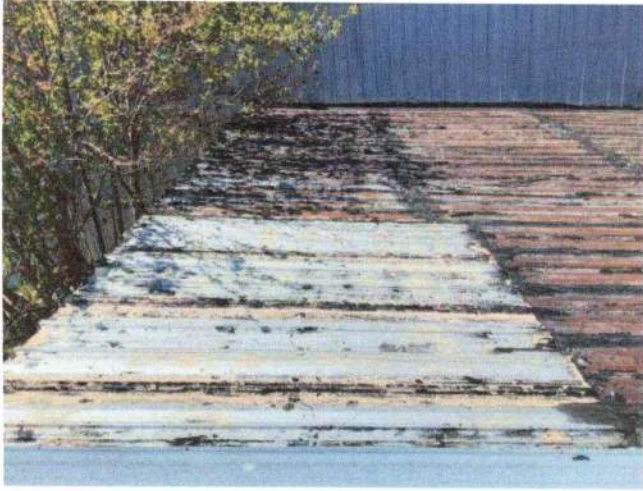
[View from Yahoo Mail on Android](#)

DLS, Long Grove

From: Roger Nielson (augustentk@yahoo.com)

To: augustentk@yahoo.com

Date: Thursday, May 18, 2023 at 06:31 PM CDT



[Sent from Yahoo Mail on Android](#)

DLS, Long Grove

From: Roger Nielson (augustentk@yahoo.com)

To: augustentk@yahoo.com

Date: Thursday, May 18, 2023 at 06:31 PM CDT



[View from Yahoo Mail on Android](#)

DLS, Long Grove

From: Roger Nielson (augustentlc@yahoo.com)  
To: augustentlc@yahoo.com  
Date: Thursday, May 18, 2021 at 06:32 PM CDT



[Sent from Yahoo Mail on Android](#)

DLS, Long Grove

From: Roger Nielson (augustentlc@yahoo.com)  
To: augustentlc@yahoo.com  
Date: Thursday, May 18, 2023 at 06:32 PM CDT



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DLS, Long Grove

From: Roger Nielson (augustentk@yahoo.com)  
To: augustentk@yahoo.com  
Date: Thursday, May 18, 2023 at 06:33 PM CDT



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DLS, Long Grove

From: Roger Nielson (augustentlc@yahoo.com)  
To: augustentlc@yahoo.com  
Date: Thursday, May 18, 2023 at 06:33 PM CDT



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# AP200

The flagship model of the Raynor Aspen Series is the elegant AP200. Beautiful and strong, the Aspen AP200 is 2" thick and features Raynor's NeuFoam™ polyurethane insulation that fills 100% of the interior cavity resulting in an 18.0 R-value.



AP200 • Raised Colonial • Sandstone

## Pick your **PANEL**



### Recessed Ranch

**Solid Colors Available:**  
White, Almond, Desert Tan, Sandstone, Bronze, Brown, Slate, Black

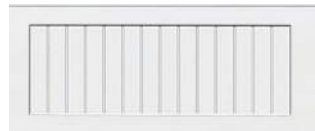
**Woodtones Available:**  
Painted Auburn & Mocha



### Raised Ranch

**Solid Colors Available:**  
White, Almond, Desert Tan, Sandstone, Bronze, Brown, Slate, Charcoal, Black

**Woodtones Available:**  
Distinct Finish Auburn, Driftwood & Mocha, Painted Walnut



### Recessed Ranch Grooved

**Solid Colors Available:**  
White, Almond, Desert Tan, Sandstone, Bronze, Brown, Charcoal, Black

**Woodtones Available:**  
Distinct Finish Auburn, Driftwood & Mocha, Painted Walnut



### Flush

**Solid Colors Available:**  
White, Almond, Desert Tan, Sandstone, Bronze, **Brown**, Slate, Charcoal, Black

**Woodtones Available:**  
Painted Auburn, Mocha & Walnut



### Raised Colonial

**Solid Colors Available:**  
White, Almond, Desert Tan, Sandstone, Bronze, Brown, Slate, Charcoal, Black

**Woodtones Available:**  
Distinct Finish Auburn, Driftwood & Mocha, Painted Walnut



### Recessed Colonial Grooved

**Solid Colors Available:**  
White, Almond, Desert Tan, Sandstone, Bronze, Brown, Charcoal, Black

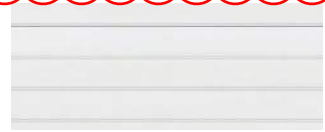
**Woodtones Available:**  
Distinct Finish Auburn, Driftwood & Mocha, Painted Walnut



### Mixed Panel

**Solid Colors Available:**  
White, Almond, Desert Tan, Sandstone, Bronze, Brown, Slate\*, Charcoal, Black

**Woodtones Available:**  
Distinct Finish Auburn, Driftwood & Mocha, Painted Walnut



### Plank

**Solid Colors Available:**  
White, Almond, Desert Tan, Sandstone, Bronze, Brown, Slate, Charcoal, Black

**Woodtones Available:**  
Painted Auburn, Mocha & Walnut

\*Available on raised mixed panel only

## Pick your **GLASS**

All of our windows are tightly sealed to keep the elements out of your garage. Choose from either clear, obscure, satin, black satin, or dark tint glass styles.



Clear



Obscure



Satin



Black Satin\*



Dark Tint

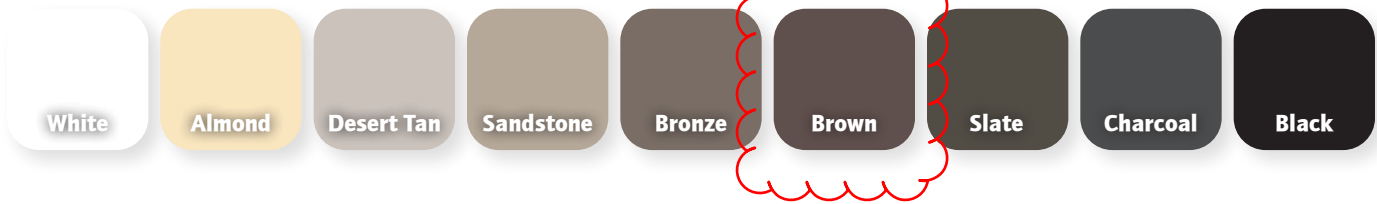
\*Black satin available on insulated units only



AP200 • Ranch • Mocha • Stockbridge Ranch Windows

## Pick your COLOR

### Solid Color Options



### Distinct Finish Woodtone Options

Dual direction oak woodgrain patterns run vertical between the embossed panels and horizontal with the rails to deliver a distinct, true grain appearance.



### Painted Woodtone Options

Featuring a single directional woodgrain pattern that runs uniform across the entire width of the door.



### Optional Post Paint Finish\*

**COLORWAVE™** Raynor's ColorWave™ features Sherwin-Williams® next generation post paint system for your garage door. With 1,500 colors to choose from, home and business owners can couple this elite paint system with state of the art Raynor manufacturing to craft the perfect look for their home or project.

\*Not all colors are available in solar reflective paint, colors that are not available as solar reflective cannot be used on polyurethane doors.

Black and charcoal colored steel doors come standard with a Cool Chemistry™ paint finish to protect from extreme heat. For environments where extreme heat and sunlight exposures are constant, black and charcoal colors are not recommended. Charcoal features the high performance PVDF coating (TRINAR® or equivalent). Woodtones available on select panel types. The swatches shown on monitors and printed materials may vary from the actual color. For a true representation of the color, visit your local Raynor Dealer.

## Pick your WINDOW

### Snap-In Inserts

