



DIMENSION NOTES

- IN INTERIOR SPACES THE ACTUAL DIMENSIONS MAY BE LESS IMPORTANT THAN IF AT TWO ELEMENTS IN THE BUILDING WERE TO BE EQUAL. IN THESE CASES, THE WORD "EQUAL OR EQ" IS USED IN LIEU OF THE ACTUAL DIMENSIONS.
- WHEN A ROOM CENTERLINE IS INDICATED ONLY ONE SIDE OF THE ROOMS ELEMENTS MAY BE DIMENSIONED.
- COLUMN IDENTIFICATION: DETAILS WILL GOVERN ALL DIMENSIONS AND NO DIMENSIONS WILL BE SHOWN ON SMALL SCALE PLANS.
- PARTITION CENTERED ON COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON SMALL SCALE PLANS.
- PARTITION WITH A FINISHED FACE FLUSH WITH FINISH FACE OF COLUMN WILL NOT BE DIMENSIONED ON SMALL SCALE PLANS.
- PARTITION FINISH FACE ON COLUMN OR GRID LINE WILL NOT BE DIMENSIONED ON SMALL SCALE PLANS.
- WHEN ONE JAMB OCCURS AT A COLUMN OR GRID LINE NO DIMENSIONS WILL BE SHOWN ON THE SMALL SCALE PLANS. THE OPENING WIDTH WILL BE GOVERNED BY CRITERIA OR SCHEDULES.
- WHEN NEITHER JAMB OCCURS AT A COLUMN OR GRID LINE ONE JAMB WILL BE DIMENSIONED.
- DOOR LOCATIONS ARE TO BE LOCATED BY ONE OF FOLLOWING:
  - ONE JAMB FACE LOCATED BY A PARTITION AT RIGHT ANGLE. 4" TYPICAL UNLESS INDICATED ON PLAN.
  - OR AS DIMENSIONED ON PLAN.
- PARTITIONS ARE DIMENSIONED TO FACE OF CMU OR FACE OF STUD UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.

MATERIAL LEGEND

|                 |                         |                  |                 |
|-----------------|-------------------------|------------------|-----------------|
| EARTH           | CONCRETE MASONRY UNIT   | GYPSUM / STUCCO  | brick           |
| COMPACTED EARTH | metal stud              | grout            | CONCRETE        |
| GRASS           | PARTICLE BOARD          | sand             | ASPHALT         |
| GRAVEL          | PLYWOOD                 | foam INSULATION  | cast stone      |
| clay            | BATT INSULATION         | RIGID INSULATION | stone           |
| fence           | ACOUSTICAL CEILING TILE | ALUMINUM         | glass           |
| turf block      | plastic                 | STEEL            | WOOD BLOCKING   |
| pavers          | carpet                  | FINISHED WOOD    | CONTINUOUS WOOD |

SYMBOL LEGEND

|                                 |                            |
|---------------------------------|----------------------------|
| NORTH AAROW                     | ROOM /SPACE IDENTIFICATION |
| DRAWING / DETAIL IDENTIFICATION | DOOR TAG                   |
| SECTION REFERENCE               | WINDOW TAG                 |
| DETAIL REFERENCE                | WALL TYPE REFERENCE        |
| EXTERIOR ELEVATION              | KEYNOTE - NEW/RENOVATION   |
| INTERIOR ELEVATION              | KEYNOTE - FINISH/ACCESSORY |
| ELEVATION TARGET                | PROPERTY LINE REFERENCE    |
| COLUMN GRID                     | CENTER LINE REFERENCE      |
| MATCH LINES                     | LEVEL CHANGE REFERENCE     |
|                                 | DETAIL CUT LINE            |
|                                 | REVISION NUMBER AND CLOUD  |

GENERAL NOTES

- THE FOLLOWING GENERAL NOTES SHALL PERTAIN TO THE ENTIRE SET OF CONTRACT DOCUMENTS
- A GENERAL CONTRACTOR SHALL NOTE THAT THE ARCHITECTURAL DRAWINGS ARE ESTABLISHING A MINIMUM MATERIAL OR CONSTRUCTION METHOD STANDARD. THE GENERAL CONTRACTOR SHALL PROVIDE A BID PRICE BASED ON THE SPECIFIC MATERIALS NOTED.
  - DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
  - GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM THEIR WORK IN ACCORDANCE WITH ALL APPLICABLE CODES GOVERNING EACH TRADE.
  - THE CONTRACTOR SHALL MAINTAIN A CLEAN AND ORGANIZED JOB SITE, ACCEPTABLE TO THE OWNER.
  - THE CONTRACTOR SHALL COORDINATE THE SEQUENCE OF WORK WITH THE OWNER REPRESENTATIVE.
  - THERE SHALL BE NO DEVIATION BY THE GENERAL CONTRACTOR FROM THE CONSTRUCTION DOCUMENTS UNLESS APPROVED IN WRITING BY THE ARCHITECT.
  - EACH CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO THE INITIATION OF WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS INTERFERING WITH THE ABILITY OF THE CONTRACTOR TO COMPLETE WORK AS OUTLINED ON THE CONSTRUCTION DRAWINGS.
  - ALL CONTRACTORS ARE REQUIRED TO COORDINATE THEIR WORK WITH OTHER TRADES. LACK OF THIS COORDINATION RESULTING IN ADDED COST TO THE CONTRACT WILL BE BORNE BY THE CONTRACTOR.
  - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING BUILDING WATER TIGHT DURING CONSTRUCTION.
  - THE CONTRACTOR WILL VERIFY THAT EXIT EGRESS IS MAINTAINED FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT ALL PHASES OF CONSTRUCTION.
  - PLAN DIMENSIONS ARE GIVEN TO FACE OF STUD OR BLOCK WALL. "CLEAR" DIMENSIONS ARE GIVEN TO THE FACE.
  - THE OWNER WILL ASSUME ALL LIABILITY AND SHALL TAKE PERSONAL RESPONSIBILITY FOR ANY DECISIONS THAT THEY MAKE TO CHANGE OR ALTER THE CONSTRUCTION DOCUMENTS WITHOUT THE ARCHITECT'S WRITTEN APPROVAL.
  - PROTECT ALL EXISTING FINISHES AND MATERIALS TO REMAIN, IN ACCORDANCE WITH ACCEPTABLE TRADE PRACTICES, MANUFACTURER, RECOMMENDATIONS, OR AS DIRECTED BY THE ARCHITECT.
  - CUTTING OF EXISTING CONSTRUCTION FOR THE INSTALLATION OF ALL NEW WORK BY ALL TRADES, AND THE SUBSEQUENT PATCHING THEREOF, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, WHETHER THE WORK IS DONE BY HIS OWN FORCES OR NOT. GRINDING OF MATERIALS FOR REMOVAL SHALL NOT BE PERMITTED. CUTTING SHALL BE TO STRAIGHT LINE. UNWORKMAN-LIKE CUTTING, DAMAGE RESULTING THEREFROM AND UNACCEPTABLE PATCHING SHALL BE REPAIRED AND/OR REPLACED TO AN ACCEPTABLE CONDITION APPROVED BY THE ARCHITECT. A OWNER PROJECT REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO CUTTING OF ANY STRUCTURAL ITEM (I.E. CONCRETE FLOOR, MASONRY, WALL, ETC.) WITHIN THE EXISTING BUILDING. METHOD OF CUTTING SHALL BE APPROVED BY THE OWNER PROJECT REPRESENTATIVE.
  - PATCHING MATERIAL SHALL MATCH EXISTING ADJACENT MATERIALS AS CLOSELY AS POSSIBLE IN COLOR, PATTERNS, AND/OR TEXTURES.
  - ALL SALVAGE MATERIALS REMOVED SHALL REMAIN THE PROPERTY OF THE OWNER. ALL NON-SALVAGE CONSTRUCTION MATERIALS AND DEBRIS FROM DEMOLITION WORK SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES, UNLESS OTHERWISE NOTED.
  - ISOLATE ALL DISSIMILAR METALS. G SHALL REQUEST APPROVAL BY THE ARCHITECT FOR MATERIALS USED FOR THIS PURPOSE, PRIOR TO INSTALLATION.
  - SEALANTS SHALL BE COMPATIBLE WITH ADJACENT SURFACE(S) THAT ARE IN CONTACT. REFER TO SPECIFICATIONS FOR APPROVED MANUFACTURERS AND PROCEDURES.
  - CAULK JOINTS OF DISSIMILAR EXPOSED TO VIEW MATERIALS AS REQUIRED BY THE ARCHITECT.
  - ALL DOOR HARDWARE TO BE FL. ADA COMPLIANT.
  - ALL EXTERIOR WALLS, DOORS AND WINDOWS ARE EXISTING U.N.O.
  - ALL FINISHES TO BE PER CLASS INDICATED ON A-004
  - NO CONSTRUCTION SHALL OCCUR WITHOUT SHOP DRAWING APPROVAL. SHOP DRAWINGS TO BE PROVIDED TO ARCHITECT FOR REVIEW UPON BEING REVIEWED AND SIGNED/DATED BY THE GENERAL CONTRACTOR AND SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING ITEMS:
    - CABINERY MILLWORK
    - RUNNING TRIM AND CASING PROFILES
    - PAINT/LAMINATE COLOR SAMPLES
    - ACOUSTICAL CEILING AND GRID
    - TOILET ACCESSORIES
    - KITCHEN EQUIPMENT
    - ROOF PENETRATIONS
    - HVAC EQUIPMENT
    - PLUMBING EQUIPMENT AND FIXTURES
    - ELECTRICAL EQUIPMENT AND FIXTURES
  - PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL SUBMIT (2) COPIES OF MATERIAL SAFETY DATA SHEETS (MSDS) FOR ALL PRODUCTS USED TO PERFORM THE WORK.
- VERIFY ACTUAL LOCATIONS AND ELEVATIONS WITH DNR ENGINEER.
- ALL WORK SHALL CONFORM TO AND BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- THE CONTRACTOR SHALL VISIT THE SITE AND INSPECT THE PROJECT AREA AND THOROUGHLY FAMILIARIZE THEMSELVES WITH THE ACTUAL JOB CONDITIONS PRIOR TO BIDDING AND THE START OF WORK. FAILURE TO VISIT THE PROJECT SITE SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING THE WORK IN ACCORDANCE TO THE PLANS, SPECIFICATION, SPECIAL PROVISIONS AND CONTRACT.
- THE CONTRACTOR SHALL VERIFY, AT THE SITE, ALL DIMENSIONS AND CONDITIONS SHOWN ON THE PLANS AND SHALL NOTIFY THE DNR ENGINEER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS PRIOR TO PROCEEDING WITH THE WORK.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL (EXCAVATED MATERIAL OR BROKEN CONCRETE) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK INVOLVED ON THIS PROJECT. NO PAYMENT FOR OVERHAUL WILL BE ALLOWED FOR MATERIAL HAULED TO THESE SITES. NO MATERIAL SHALL BE PLACED WITHIN THE RIGHT-OF-WAY, UNLESS SPECIFICALLY STATED IN THE PLANS OR APPROVED BY THE DNR ENGINEER.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE DNR ENGINEER.
- WHERE UTILITIES AND FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DNR ENGINEER OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL BE AFFORDED ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.
- THE CONTRACTOR SHALL SHAPE GRADED AREA TO MAINTAIN SURFACE DRAINAGE. ALL ELEVATIONS ARE TO FINISH GRADE.
- THE CONTRACTOR IS EXPECTED TO HAVE MATERIALS, EQUIPMENT, AND LABOR AVAILABLE ON A DAILY BASIS TO INSTALL AND MAINTAIN EROSION CONTROL FEATURES ON THE PROJECT. THIS MAY INVOLVE SEEDING, SILT FENCE, ROCK DITCH CHECKS, SILT BASINS OR SILT DIKES.
- \*DIVISIONS 20-41 OF THE STANDARD SPECIFICATIONS FOR BRIDGE AND HIGHWAY CONSTRUCTION, CURRENT EDITION WITH GS-15011 SHALL APPLY TO THIS PROJECT.

PROJECT NARRATIVE

The contractor shall be responsible for providing and installing all items within this narrative, the drawings, and project manual unless specifically noted. This narrative is not meant to be a comprehensive account of all items to be covered by the contract, review all documents. The contractor is responsible for field verifying all dimensions and establishing all quantities that are dictated as "lump sum".

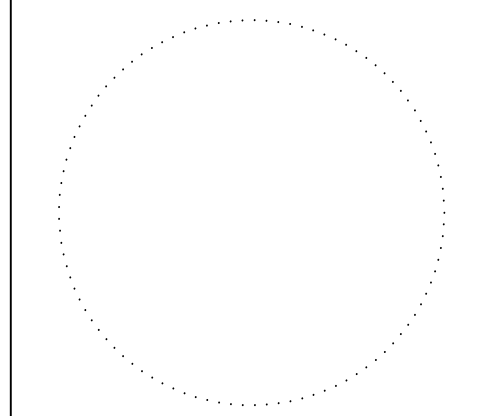
This project, Lake Manawa State Park – Beach Concession Building Remodel, shall commence after the contract is executed and shall be completed no later than the specified completion date.

**Beach Concession Building – Site Work:**  
 The Contractor shall power-wash, with a degreasing detergent, the entire exterior of the building. After thoroughly cleaning the building, the Contractor shall then coat the entire exterior CMU surface with one (1) continuous, thorough coat of CS-1, refer to sheet A-600. The Contractor shall remove all doors shown on the plans, thoroughly clean the doors and the frames, then paint two (2) coats of PNT-1. The Contractor shall remove all gutters, downspouts, fascia boards, and soffits in their entirety and dispose. The Contractor shall then install a new steel soffit, new treated 2x10 fascia with a complete break metal wrap and new gutters and downspouts, the color to be dark bronze on all metal.

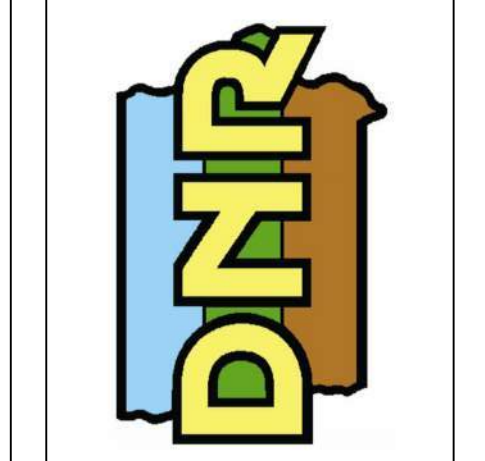
The Contractor shall remove all exterior site light poles, remove and dispose of the light heads, then sand-blast the poles and powder coat the poles and bases dark bronze. The Contractor shall then reinstall the light poles and install new LED light heads as called out on sheet A-010. The contractor shall remove the existing overhead coiling door on the NE side of the building. The contractor shall install a new overhead coiling door as called out on sheet A-100.

**Beach Concession Building – Interior Work:**  
 The Contractor shall demolish all toilet partitions, lavatories and countertops, all restroom accessories, seating benches near the entrances, urinal in the Men's restroom, and all light fixtures, lavatory counter braces to remain. The Contractor shall then power-wash, with a degreasing detergent, the entire interior of both restrooms. After thoroughly cleaning the restrooms, the Contractor shall then protect all toilets in place, and paint the entire interior CMU surface with two (2) coats of PNT-2, refer to sheet A-600. The Contractor shall remove all doors shown on the plans, thoroughly clean the doors and frames, then paint two (2) coats of PNT-1. The Contractor shall then install a new ADA urinal, as called out. The Contractor shall then install new Bradmar Sentinel 400 overhead-braced toilet partitions. The Contractor shall install a new quartz (QC-1) countertop with lavatory sink bowls, faucets, and accessories as called out. The Contractor shall install all new toilet compartment accessories as called out on the plans. The Contractor shall also replace the countertop at the Concession counter with a new quartz (QC-1) countertop, matching existing outside dimensions. The Contractor shall then clean the interior of the Beach Concession Building of any debris or disturbance that occurred while remodeling the building.

CONSULTANT:



**IOWA DEPARTMENT OF NATURAL RESOURCES**  
 ENGINEERING SERVICES - WALLACE BUILDING  
 502 E. 9TH ST., DES MOINES, IA 50319-0034  
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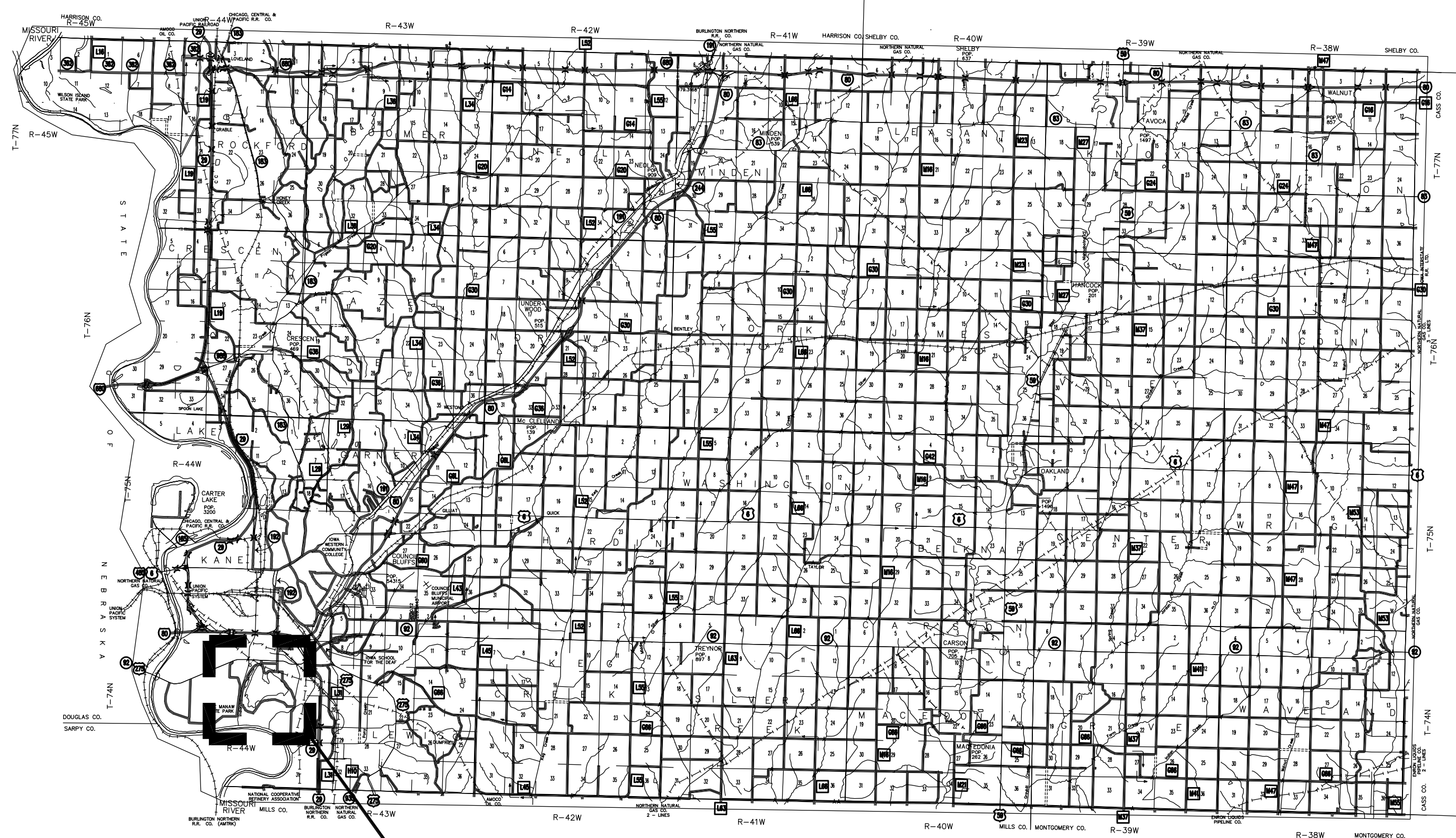


PROJECT NARRATIVE, WALL TYPES, KAYAK LAUNCH  
 Beach Concession Building Remodel for:  
**Lake Manawa State Park**  
 Council Bluffs, IA 51501

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DRAWN BY: PROJECT NUMBER:  
 23-04-78-02  
 CHK'D BY: DATE:  
 12.19.2023

SHEET No:  
**A-002**



LAKE MANAWA STATE PARK



CONSULTANT:

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PROJECT LOCATION

Beach Concession Building Remodel for:

Lake Manawa State Park

1101 South Shore Drive  
Council Bluffs, IA 51501

NO. BY DATE REVISION

DRAWN BY: PROJECT NUMBER:

23-04-78-02

CHK'D BY: DATE:

12.19.2023

SHEET No:

A-003



**02** SITE PLAN – CONCESSION BUILDING  
SCALE: 1/8" = 1'-0"

**01** DEMOLITION SITE PLAN – CONCESSION BUILDING  
SCALE: 1/8" = 1'-0"

KEYNOTES

GENERAL NOTES

- EXISTING FLOORING TO REMAIN.
- REMOVE EXISTING LIGHT POLE, DEMOLISH LIGHTING HEADS (FIXTURES). SAND BLAST AND THEN POWDER COAT POLES AND BASES DARK BRONZE, REINSTALL AND PREP FOR NEW LIGHT HEAD.
- DEMOLISH INTERIOR BENCHES.
- REMOVE TOILET PARTITIONS, PROTECT FOR FUTURE USE.
- TOILETS TO REMAIN, PROTECT IN PLACE.
- DEMOLISH URINAL FIXTURE.
- DEMOLISH ALL COUNTER TOPS, SINKS AND TRIM, PREP FOR NEW MATERIAL INSTALL. ANGLED SUPPORTS TO REMAIN.
- DEMOLISH HAND DRYER, PREP J-BOX AND ELECTRICAL FOR NEW HAND DRYER.
- REMOVE EXISTING LIGHTING, PREP J-BOX AND ELECTRICAL FOR NEW LIGHTING FIXTURE.
- REMOVE EXISTING RESTROOM ACCESSORIES.
- DEMOLISH EXISTING COILING DOOR, PREP BLOCK FOR INSTALL OF NEW DOOR.
- REMOVE DOORS AS SPECIFIED ON SHEET A-600. CLEAN DOORS AND FRAMES, PREP FOR PAINT AND REINSTALLATION.
- DEMOLISH ALL GUTTERS, DOWNSPOUTS, WOOD SOFFIT MATERIAL, AND FASCIA. PREP EAVE EDGE FOR NEW MATERIAL.
- 6" GUTTER AND DOWNSPOUT WITH SHUR-FLO GUTTER GUARDS, CONTINUOUS OR APPROVED EQUAL, DARK BRONZE.
- PRESSURE TREATED 2X10 FASCIA, MATCH EXISTING DIMENSIONS, WRAP FASCIA IN BREAK METAL, DARK BRONZE.

- PRESSURE WASH ENTIRE EXTERIOR BUILDING WITH DE-GREASING DETERGENT, CLEAN WITH STIFF NYLON BRUSHES. ALLOW TO DRY FOR TWO (2) DAYS, THEN COAT ENTIRE EXTERIOR OF BUILDING WITH MICRO-SEAL WITH ANTI-GRAFFITI CMU BLOCK SEALER, FOLLOWING MANUFACTURER'S APPLICATION INSTRUCTIONS.
- 26 GAUGE, VENTED, STEEL SOFFIT PANEL, DARK BRONZE TO MATCH FASCIA AND GUTTERS. CONTRACTOR TO PROVIDE "J" AND "T" TRIM WHERE NECESSARY SO RAW EDGES ARE NOT EXPOSED.
- SAND-BLAST AND POWDER-COAT LIGHT POLE AND BASE COVER, DARK BRONZE. REINSTALL POLE AND BASE WITH ONE (1) NEW HUBBLE VSP-48L-110-4K7-4-UNV-AD-DB LIGHT HEAD EACH, FOR A TOTAL OF FOUR (4) LIGHT HEADS.

- FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- CLEAN ENTIRE BUILDING THOROUGHLY, INTERIOR AND EXTERIOR.
- REFER TO SITE PLAN FOR MORE INFORMATION.
- ALL ELECTRICAL TO BE NEC 2012 COMPLIANT.
- ALL PLUMBING TO BE IPC 2012 COMPLIANT.

CONCESSION BUILDING SITE PLANS

Beach Concession Building Remodel for:  
**Lake Manawa State Park**

1101 South Shore Drive  
Council Bluffs, IA 51501

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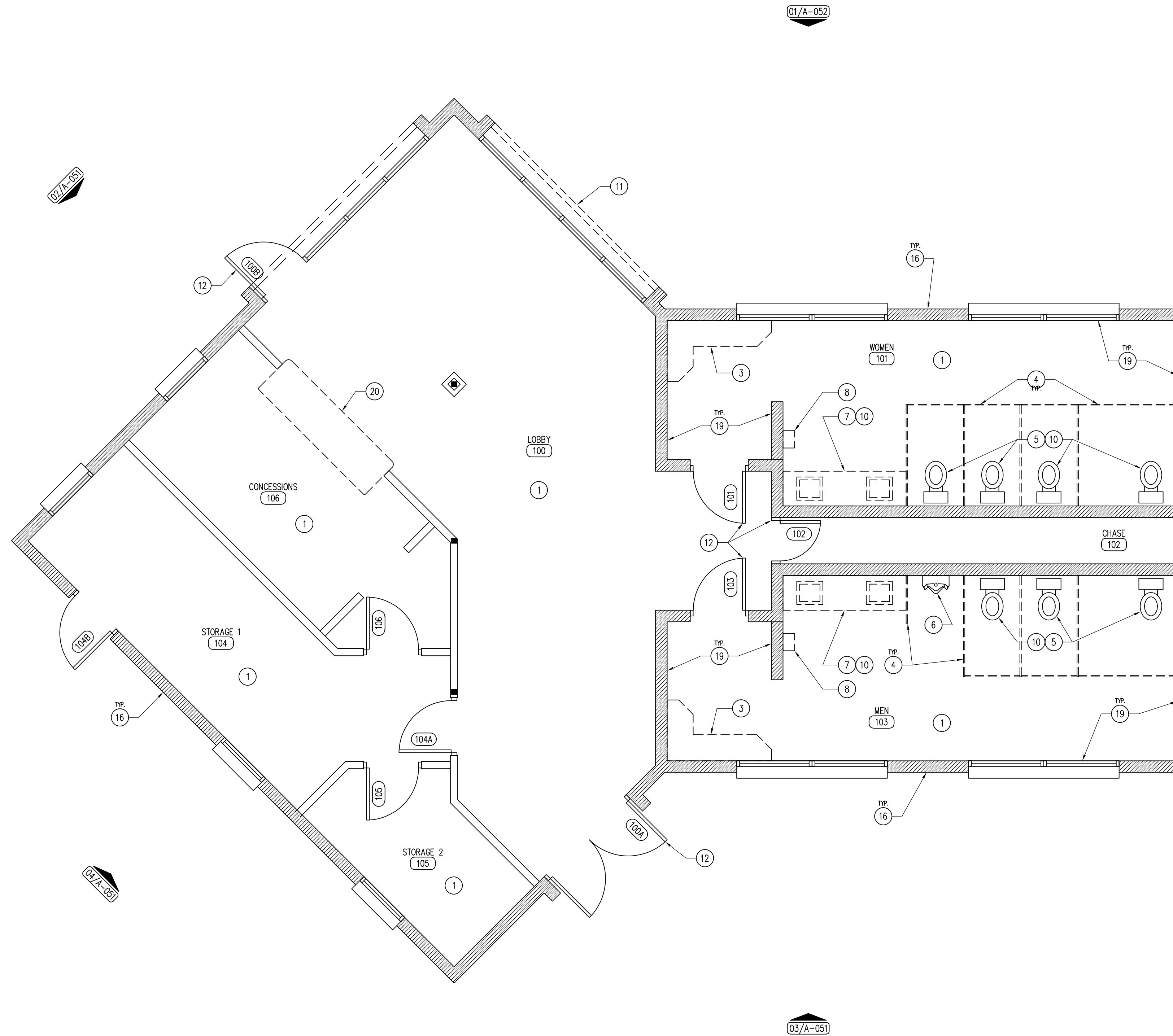
CONSULTANT:

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03 NOT USED  
SCALE: 1/8" = 1'-0"

02 NOT USED  
SCALE: 1/8" = 1'-0"

01 BEACH CONCESSION BUILDING - DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"



KEYNOTES

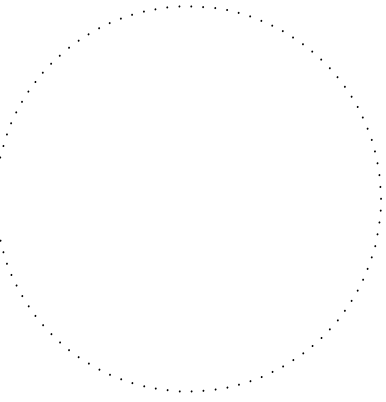
1. EXISTING FLOORING TO REMAIN.
2. REMOVE EXISTING LIGHT POLE, DEMOLISH LIGHTING HEADS (FIXTURES). SAND BLAST AND THEN POWDER COAT POLES AND BASES DARK BRONZE, REINSTALL AND PREP FOR NEW LIGHT HEAD.
3. DEMOLISH INTERIOR BENCHES.
4. DEMOLISH TOILET PARTITIONS AND TOILET ACCESSORIES.
5. TOILETS TO REMAIN, PROTECT IN PLACE.
6. DEMOLISH URINAL FIXTURE.
7. DEMOLISH ALL COUNTER TOPS, SINKS AND TRIM, PREP FOR NEW MATERIAL INSTALL. ANGLED SUPPORTS TO REMAIN.
8. DEMOLISH HAND DRYER, PREP J-BOX AND ELECTRICAL FOR NEW HAND DRYER.
9. REMOVE EXISTING LIGHTING, PREP J-BOX AND ELECTRICAL FOR NEW LIGHTING FIXTURE.
10. DEMOLISH ALL RESTROOM ACCESSORIES, PREP FOR INSTALLATION OF NEW ACCESSORIES.
11. DEMOLISH EXISTING COILING DOOR, PREP BLOCK FOR INSTALL OF NEW DOOR.
12. REMOVE DOORS AS SPECIFIED ON SHEET A-600. CLEAN DOORS AND FRAMES, PREP FOR PAINT AND REINSTALLATION.
13. DEMOLISH ALL GUTTERS, DOWNSPOUTS, WOOD SOFFIT MATERIAL, AND FASCIA. PREP EAVE EDGE FOR NEW MATERIAL.
14. 6" GUTTER AND DOWNSPOUT WITH SHUR-FLO GUTTER GUARDS, CONTINUOUS OR APPROVED EQUAL, DARK BRONZE.
15. PRESSURE TREATED 2X10 FASCIA, MATCH EXISTING DIMENSIONS, WRAP FASCIA IN BREAK METAL, DARK BRONZE.

16. PRESSURE WASH ENTIRE EXTERIOR BUILDING WITH DE-GREASING DETERGENT, CLEAN WITH STIFF NYLON BRUSHES. ALLOW TO DRY FOR TWO (2) DAYS, THEN COAT ENTIRE EXTERIOR OF BUILDING WITH MICRO-SEAL WITH ANTI-GRAFFITI CMU BLOCK SEALER, FOLLOWING MANUFACTURER'S APPLICATION INSTRUCTIONS.
17. 26 GAUGE, VENTED, STEEL SOFFIT PANEL, DARK BRONZE TO MATCH FASCIA AND GUTTERS. CONTRACTOR TO PROVIDE "J" AND "T" TRIM WHERE NECESSARY SO RAW EDGES ARE NOT EXPOSED.
18. SAND-BLAST AND POWDER-COAT LIGHT POLE AND BASE COVER, DARK BRONZE. REINSTALL POLE AND BASE WITH ONE (1) NEW HUBBLE VSP-48L-110-4K7-4-UNV-AD-DB LIGHT HEAD EACH, FOR A TOTAL OF FOUR (4) LIGHT HEADS.
19. PRESSURE WASH ENTIRE INTERIOR OF RESTROOMS (WOMEN 101 AND MEN 103) WITH DE-GREASING DETERGENT, CLEAN WITH STIFF NYLON BRUSHES. ALLOW TO DRY, THEN PAINT ALL WALLS OF BOTH RESTROOMS FROM ENTRY DOOR WITH TWO (2) COATS OF PNT-2.
20. DEMOLISH CONCESSION SERVING COUNTERTOP, PREP FOR NEW COUNTERTOP.

GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- B. CLEAN ENTIRE BUILDING THOROUGHLY, INTERIOR AND EXTERIOR.
- C. REFER TO SITE PLAN FOR MORE INFORMATION.
- D. ALL ELECTRICAL TO BE NEC 2012 COMPLIANT.
- E. ALL PLUMBING TO BE IPC 2012 COMPLIANT.

CONSULTANT:



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DEMOLITION FLOOR PLAN

Beach Concession Building Remodel for:  
**Lake Manawa State Park**

1101 South Shore Drive  
Council Bluffs, IA 51501

NO. BY DATE REVISION

DRAWN BY: PROJECT NUMBER:  
23-04-78-02

CHK'D BY: DATE:  
12.19.2023

SHEET NO:

**A-050**



04 BEACH CONCESSION BUILDING – SOUTH WEST FACADE  
SCALE: NTS



03 BEACH CONCESSION BUILDING – SOUTH EAST FACADE  
SCALE: NTS



02 BEACH CONCESSION BUILDING – NORTH WEST FACADE  
SCALE: NTS



01 BEACH CONCESSION BUILDING – EAST FACADE  
SCALE: NTS

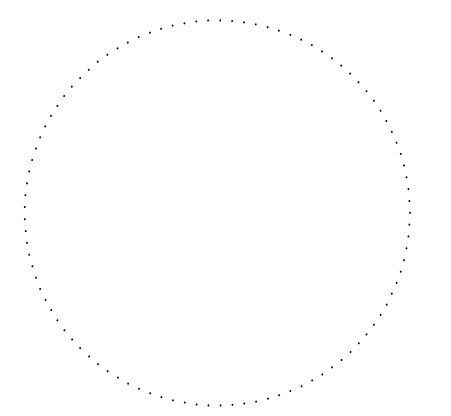
KEYNOTES

1. EXISTING FLOORING TO REMAIN.
2. REMOVE EXISTING LIGHT POLE, DEMOLISH LIGHTING HEADS (FIXTURES). SAND BLAST AND THEN POWDER COAT POLES AND BASES DARK BRONZE, REINSTALL AND PREP FOR NEW LIGHT HEAD.
3. DEMOLISH INTERIOR BENCHES.
4. DEMOLISH TOILET PARTITIONS AND TOILET ACCESSORIES.
5. TOILETS TO REMAIN, PROTECT IN PLACE.
6. DEMOLISH URINAL FIXTURE.
7. DEMOLISH ALL COUNTER TOPS, SINKS AND TRIM, PREP FOR NEW MATERIAL INSTALL. ANGLED SUPPORTS TO REMAIN.
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9. REMOVE EXISTING LIGHTING, PREP J-BOX AND ELECTRICAL FOR NEW LIGHTING FIXTURE.
10. DEMOLISH CONCESSION SERVING COUNTERTOP, PREP FOR NEW COUNTERTOP.
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15. PRESSURE TREATED 2X10 FASCIA, MATCH EXISTING DIMENSIONS, WRAP FASCIA IN BREAK METAL, DARK BRONZE.
16. PRESSURE WASH ENTIRE EXTERIOR BUILDING WITH DE-GREASING DETERGENT, CLEAN WITH STIFF NYLON BRUSHES. ALLOW TO DRY FOR TWO (2) DAYS, THEN COAT ENTIRE EXTERIOR OF BUILDING WITH MICRO-SEAL WITH ANTI-GRAFFITI CMU BLOCK SEALER, FOLLOWING MANUFACTURER'S APPLICATION INSTRUCTIONS.
17. 26 GAUGE, VENTED, STEEL SOFFIT PANEL, DARK BRONZE TO MATCH FASCIA AND GUTTERS. CONTRACTOR TO PROVIDE "J" AND "T" TRIM WHERE NECESSARY SO RAW EDGES ARE NOT EXPOSED.
18. SAND-BLAST AND POWDER-COAT LIGHT POLE AND BASE COVER, DARK BRONZE. REINSTALL POLE AND BASE WITH ONE (1) NEW HUBBLE VSP-48L-110-4K7-4-UNV-AD-DB LIGHT HEAD EACH, FOR A TOTAL OF FOUR (4) LIGHT HEADS.
19. PRESSURE WASH ENTIRE INTERIOR OF RESTROOMS (WOMEN 101 AND MEN 103) WITH DE-GREASING DETERGENT, CLEAN WITH STIFF NYLON BRUSHES. ALLOW TO DRY, THEN PAINT ALL WALLS OF BOTH RESTROOMS FROM ENTRY DOOR WITH TWO (2) COATS OF PNT-2.

GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- B. CLEAN ENTIRE BUILDING THOROUGHLY, INTERIOR AND EXTERIOR.
- C. REFER TO SITE PLAN FOR MORE INFORMATION.
- D. ALL ELECTRICAL TO BE NEC 2012 COMPLIANT.
- E. ALL PLUMBING TO BE IPC 2012 COMPLIANT.

CONSULTANT:



**IOWA DEPARTMENT OF NATURAL RESOURCES**  
ENGINEERING SERVICES - WALLACE BUILDING  
502 E. 9TH ST., DES MOINES, IA 50319-0034  
P: 515.725.8200  
F: 515.725.8202



EXTERIOR PHOTOS

Beach Concession Building Remodel for:

**Lake Manawa State Park**

1101 South Shore Drive  
Council Bluffs, IA 51501

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23-04-78-02

CHK'D BY: DATE:  
12.19.2023

SHEET No:

**A-051**



04 BEACH CONCESSION BUILDING – SOFFIT / FASCIA DETAIL  
SCALE: NTS



03 BEACH CONCESSION BUILDING – SITE LIGHT POLE DETAIL  
SCALE: NTS



02 BEACH CONCESSION BUILDING – COILING OVERHEAD DOOR DETAIL  
SCALE: NTS



01 BEACH CONCESSION BUILDING – NORTH WEST FACADE  
SCALE: NTS

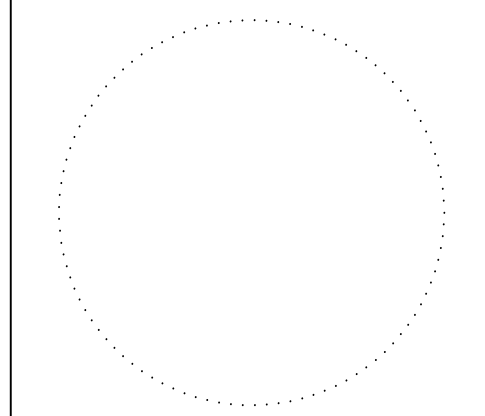
KEYNOTES

1. EXISTING FLOORING TO REMAIN.
2. REMOVE EXISTING LIGHT POLE, DEMOLISH LIGHTING HEADS (FIXTURES). SAND BLAST AND THEN POWDER COAT POLES AND BASES DARK BRONZE, REINSTALL AND PREP FOR NEW LIGHT HEAD.
3. DEMOLISH INTERIOR BENCHES.
4. DEMOLISH TOILET PARTITIONS AND TOILET ACCESSORIES.
5. TOILETS TO REMAIN, PROTECT IN PLACE.
6. DEMOLISH URINAL FIXTURE.
7. DEMOLISH ALL COUNTER TOPS, SINKS AND TRIM, PREP FOR NEW MATERIAL INSTALL. ANGLED SUPPORTS TO REMAIN.
8. DEMOLISH HAND DRYER, PREP J-BOX AND ELECTRICAL FOR NEW HAND DRYER.
9. REMOVE EXISTING LIGHTING, PREP J-BOX AND ELECTRICAL FOR NEW LIGHTING FIXTURE.
10. DEMOLISH CONCESSION SERVICING COUNTERTOP, PREP FOR NEW COUNTERTOP.
11. DEMOLISH EXISTING COILING DOOR, PREP BLOCK FOR INSTALL OF NEW DOOR.
12. REMOVE DOORS AS SPECIFIED ON SHEET A-600. CLEAN DOORS AND FRAMES, PREP FOR PAINT AND REINSTALLATION.
13. DEMOLISH ALL GUTTERS, DOWNSPOUTS, WOOD SOFFIT MATERIAL, AND FASCIA. PREP EAVE EDGE FOR NEW MATERIAL.
14. 6" GUTTER AND DOWNSPOUT WITH SHUR-FLO GUTTER GUARDS, CONTINUOUS OR APPROVED EQUAL, DARK BRONZE.
15. PRESSURE TREATED 2X10 FASCIA, MATCH EXISTING DIMENSIONS, WRAP FASCIA IN BREAK METAL, DARK BRONZE.
16. PRESSURE WASH ENTIRE EXTERIOR BUILDING WITH DE-GREASING DETERGENT, CLEAN WITH STIFF NYLON BRUSHES. ALLOW TO DRY FOR TWO (2) DAYS, THEN COAT ENTIRE EXTERIOR OF BUILDING WITH MICRO-SEAL WITH ANTI-GRAFFITI CMU BLOCK SEALER, FOLLOWING MANUFACTURER'S APPLICATION INSTRUCTIONS.
17. 26 GAUGE, VENTED, STEEL SOFFIT PANEL, DARK BRONZE TO MATCH FASCIA AND GUTTERS. CONTRACTOR TO PROVIDE "J" AND "T" TRIM WHERE NECESSARY SO RAW EDGES ARE NOT EXPOSED.
18. SAND-BLAST AND POWDER-COAT LIGHT POLE AND BASE COVER, DARK BRONZE. REINSTALL POLE AND BASE WITH ONE (1) NEW HUBBLE VSP-48L-110-4K7-4-UNV-AD-DB LIGHT HEAD EACH, FOR A TOTAL OF FOUR (4) LIGHT HEADS.
19. PRESSURE WASH ENTIRE INTERIOR OF RESTROOMS (WOMEN 101 AND MEN 103) WITH DE-GREASING DETERGENT, CLEAN WITH STIFF NYLON BRUSHES. ALLOW TO DRY, THEN PAINT ALL WALLS OF BOTH RESTROOMS FROM ENTRY DOOR WITH TWO (2) COATS OF PNT-2.

GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- B. CLEAN ENTIRE BUILDING THOROUGHLY, INTERIOR AND EXTERIOR.
- C. REFER TO SITE PLAN FOR MORE INFORMATION.
- D. ALL ELECTRICAL TO BE NEC 2012 COMPLIANT.
- E. ALL PLUMBING TO BE IPC 2012 COMPLIANT.

CONSULTANT:



**IOWA DEPARTMENT OF NATURAL RESOURCES**  
ENGINEERING SERVICES - WALLACE BUILDING  
502 E. 9TH ST., DES MOINES, IA 50319-0034  
P: 515.725.8200  
F: 515.725.8202



EXTERIOR PHOTOS

Beach Concession Building Remodel for:

**Lake Manawa State Park**

1101 South Shore Drive  
Council Bluffs, IA 51501

NO. BY DATE REVISION

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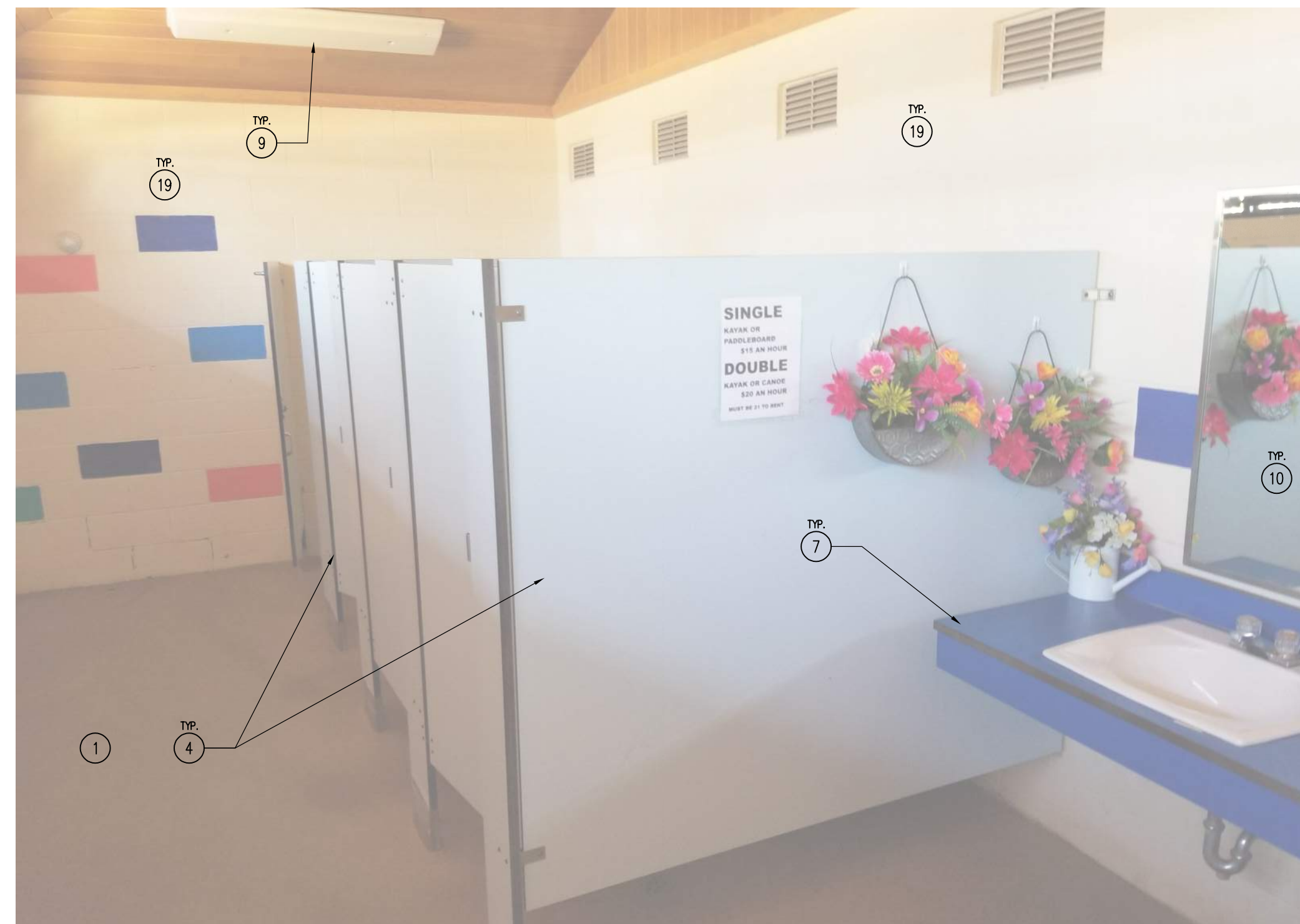
**A-052**



04 BEACH CONCESSION BUILDING – MEN 103 – URINAL  
SCALE: NTS



03 BEACH CONCESSION BUILDING – ADA TOILET AREA  
SCALE: NTS



02 BEACH CONCESSION BUILDING – WOMEN 101  
SCALE: NTS



01 BEACH CONCESSION BUILDING – LAVATORY COUNTER  
SCALE: NTS

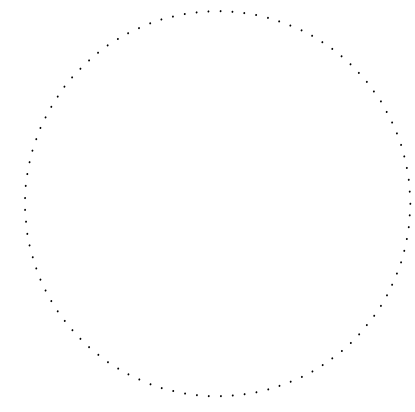
KEYNOTES

1. EXISTING FLOORING TO REMAIN.
2. REMOVE EXISTING LIGHT POLE, DEMOLISH LIGHTING HEADS (FIXTURES). SAND BLAST AND THEN POWDER COAT POLES AND BASES DARK BRONZE, REINSTALL AND PREP FOR NEW LIGHT HEAD.
3. DEMOLISH INTERIOR BENCHES.
4. DEMOLISH TOILET PARTITIONS AND TOILET ACCESSORIES.
5. TOILETS TO REMAIN, PROTECT IN PLACE.
6. DEMOLISH URINAL FIXTURE.
7. DEMOLISH ALL COUNTER TOPS, SINKS AND TRIM, PREP FOR NEW MATERIAL INSTALL. ANGLED SUPPORTS TO REMAIN.
8. DEMOLISH HAND DRYER, PREP J-BOX AND ELECTRICAL FOR NEW HAND DRYER.
9. REMOVE EXISTING LIGHTING, PREP J-BOX AND ELECTRICAL FOR NEW LIGHTING FIXTURE.
10. DEMOLISH ALL RESTROOM ACCESSORIES, PREP FOR INSTALLATION OF NEW ACCESSORIES.
11. DEMOLISH EXISTING COILING DOOR, PREP BLOCK FOR INSTALL OF NEW DOOR.
12. REMOVE DOORS AS SPECIFIED ON SHEET A-600. CLEAN DOORS AND FRAMES, PREP FOR PAINT AND REINSTALLATION.
13. DEMOLISH ALL GUTTERS, DOWNSPOUTS, WOOD SOFFIT MATERIAL, AND FASCIA. PREP EAVE EDGE FOR NEW MATERIAL.
14. 6" GUTTER AND DOWNSPOUT WITH SHUR-FLO GUTTER GUARDS, CONTINUOUS OR APPROVED EQUAL, DARK BRONZE.
15. PRESSURE TREATED 2X10 FASCIA, MATCH EXISTING DIMENSIONS, WRAP FASCIA IN BREAK METAL, DARK BRONZE.
16. PRESSURE WASH ENTIRE EXTERIOR BUILDING WITH DE-GREASING DETERGENT, CLEAN WITH STIFF NYLON BRUSHES. ALLOW TO DRY FOR TWO (2) DAYS, THEN COAT ENTIRE EXTERIOR OF BUILDING WITH MICRO-SEAL WITH ANTI-GRAFFITI CMU BLOCK SEALER, FOLLOWING MANUFACTURER'S APPLICATION INSTRUCTIONS.
17. 26 GAUGE, VENTED, STEEL SOFFIT PANEL, DARK BRONZE TO MATCH FASCIA AND GUTTERS. CONTRACTOR TO PROVIDE "J" AND "T" TRIM WHERE NECESSARY SO RAW EDGES ARE NOT EXPOSED.
18. SAND-BLAST AND POWDER-COAT LIGHT POLE AND BASE COVER, DARK BRONZE. REINSTALL POLE AND BASE WITH ONE (1) NEW HUBBLE VSP-48L-110-4K7-4-UNV-AD-DB LIGHT HEAD EACH, FOR A TOTAL OF FOUR (4) LIGHT HEADS.
19. PRESSURE WASH ENTIRE INTERIOR OF RESTROOMS (WOMEN 101 AND MEN 103) WITH DE-GREASING DETERGENT, CLEAN WITH STIFF NYLON BRUSHES. ALLOW TO DRY, THEN PAINT ALL WALLS OF BOTH RESTROOMS FROM ENTRY DOOR WITH TWO (2) COATS OF PNT-2.
20. DEMOLISH CONCESSION SERVING COUNTERTOP, PREP FOR NEW COUNTERTOP.

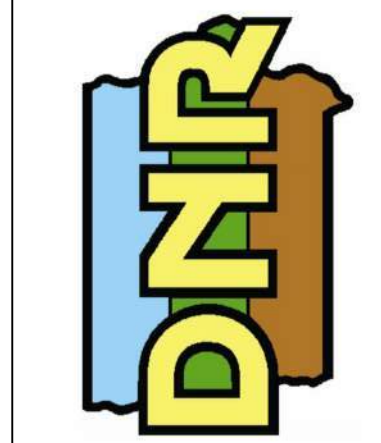
GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- B. CLEAN ENTIRE BUILDING THOROUGHLY, INTERIOR AND EXTERIOR.
- C. REFER TO SITE PLAN FOR MORE INFORMATION.
- D. ALL ELECTRICAL TO BE NEC 2012 COMPLIANT.
- E. ALL PLUMBING TO BE IPC 2012 COMPLIANT.

CONSULTANT:



**IOWA DEPARTMENT OF NATURAL RESOURCES**  
ENGINEERING SERVICES - WALLACE BUILDING  
502 E. 9TH ST., DES MOINES, IA 50319-0034  
P: 515.725.8200  
F: 515.725.8202



INTERIOR PHOTOS

Beach Concession Building Remodel for:

**Lake Manawa State Park**

1101 South Shore Drive  
Council Bluffs, IA 51501

NO. BY DATE REVISION

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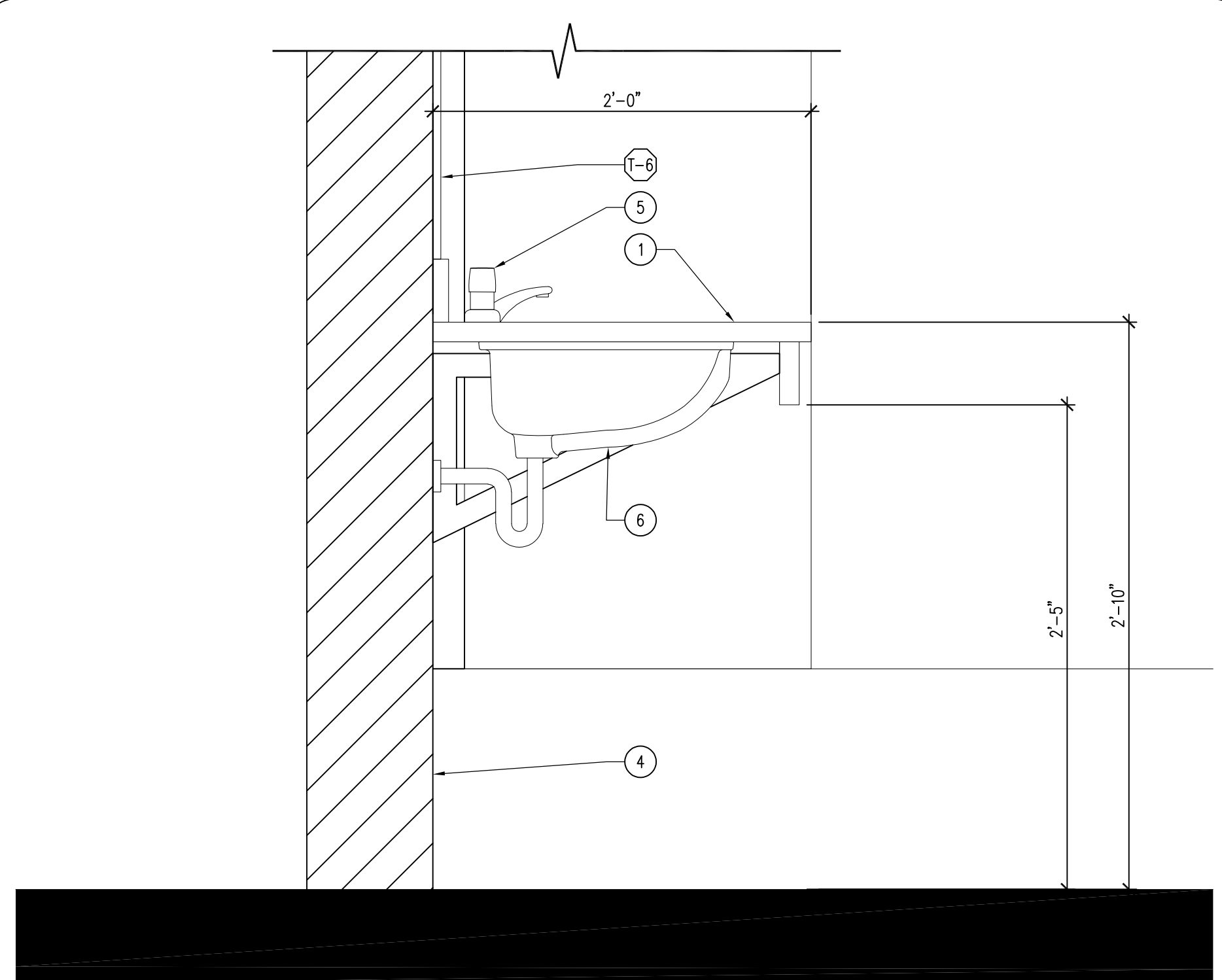
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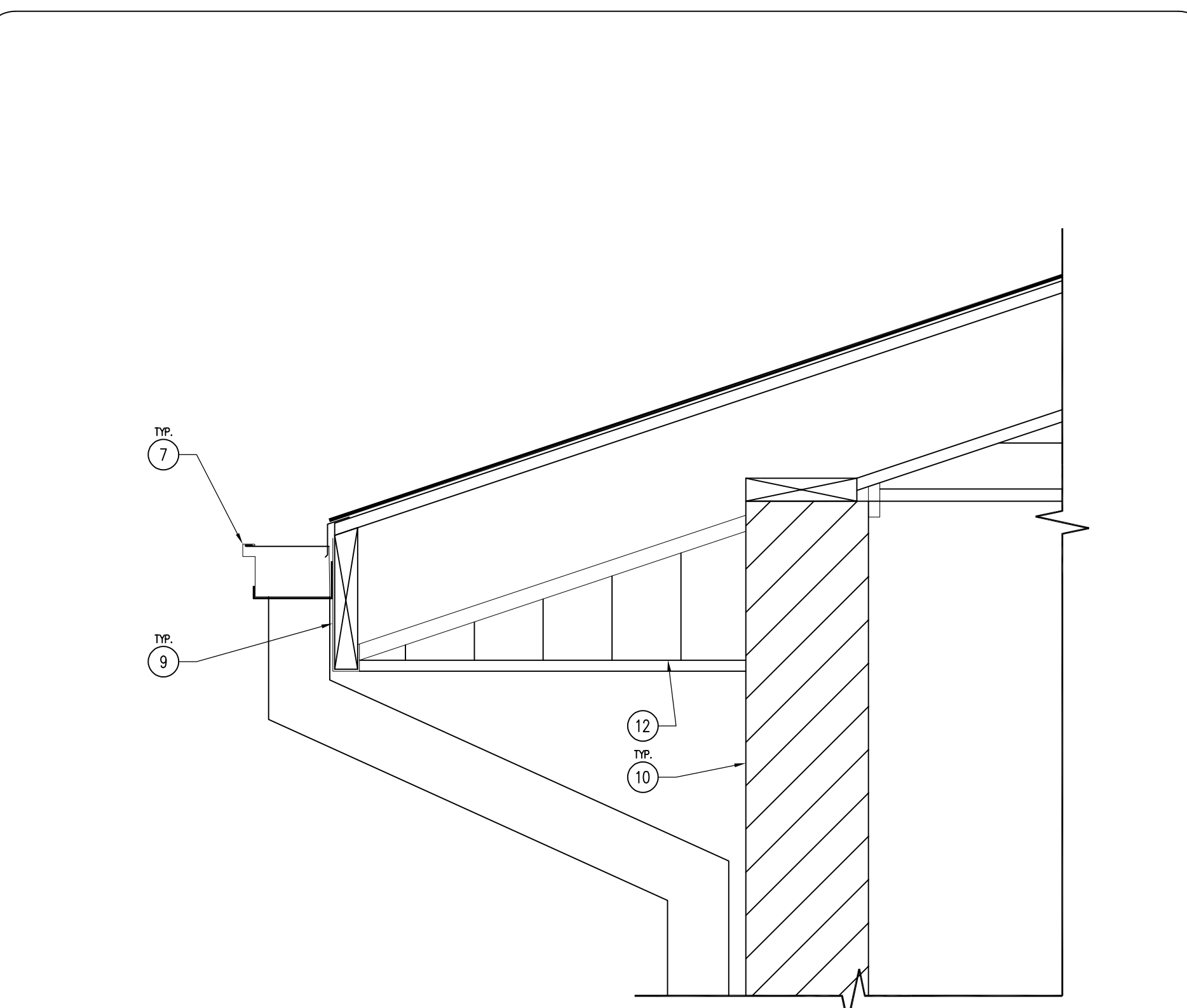
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**A-053**

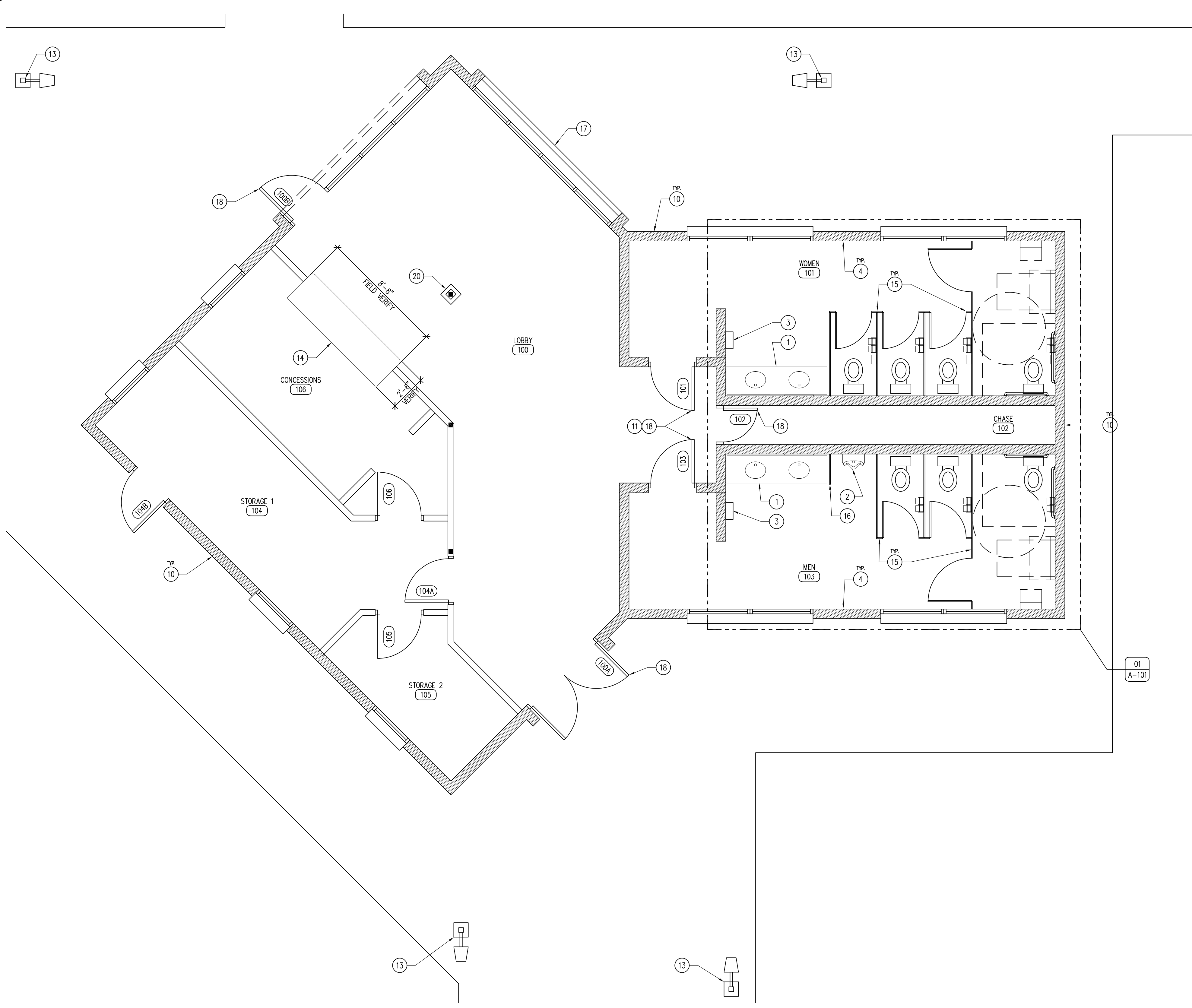




03 SECTION - RESTROOM LAVATORY COUNTER  
SCALE: 1 1/2" = 1'-0"



02 DETAIL - SOFFIT / FASCIA DETAIL  
SCALE: 1 1/2" = 1'-0"



01 BEACH CONCESSION BUILDING - REFERENCE PLAN  
SCALE: 1/4" = 1'-0"

TOILET ACCESSORY SCHEDULE

ALL MODEL NUMBERS BASED ON BOBRICK WASHROOM EQUIPMENT UNLESS OTHERWISE NOTED.

- 1-1 SURFACE-MOUNTED MULTI-ROLL TOILET PAPER DISPENSER B-274
- 1-2 CONCEALED MOUNTING WITH SNAP FLANGE GRAB BARS B-5806 X 42
- 1-3 CONCEALED MOUNTING WITH SNAP FLANGE GRAB BARS B-5806 X 36
- 1-4 SURFACE-MOUNTED SANITARY NAPKIN DISPOSAL B-270
- 1-5 KOALA KARE HORIZONTAL WALL-MOUNTED BABY CHANGING STATION KB300 (GREY 01)
- 1-6 TEMPERED GLASS WELDED-FRAME MIRROR B-2908 1836
- 1-7 HOOK STRIP B-232 X 24
- 1-8 FOLDING SHOWER SEAT B-5191

KEYNOTES

1. QUARTZ COUNTERTOP (OC-1) OR APPROVED EQUAL, OVER 3/4" PLYWOOD WITH 4" VALANCE AND 4" BACKSLASH, REUSE EXISTING ANGLE SUPPORTS, OR APPROVED EQUAL. REFER TO DETAIL 03/A-100.
2. ADA URINAL - AMERICAN STANDARD 0.5 GPM MANUAL ADA URINAL (5561.017). MOUNT SO RIM OF URINAL IS 17" ABOVE FINISH FLOOR. ADD SLOAN ROYAL 186 FLUSH VALVE WITH MANUAL LEVER AND ALL ACCESSORIES.
3. HAND-DRYER BY EXCEL, OR APPROVED EQUAL (XL-GR-110-120V). INSTALL INTO EXISTING ELECTRICAL J-BOX. CONTRACTOR TO RUN NEW ELECTRICAL LINE TO PANEL IF NOT PROVIDED.
4. PRESSURE WASH INTERIOR OF RESTROOMS (WOMEN 101 AND MEN 103) WITH DE-GREASING DETERGENT, CLEAN WITH STIFF NYLON BRUSHES. ALLOW TO DRY, THE PAINT TWO (2) COATS OF PNT-2.
5. LAVATORY FAUCET AND TRIM PACKAGE BY CHICAGO FAUCETS: 3400-TA-BCP, STRAINER DRAIN WITH SCALD GUARDS ON P-TRAP PIPING.
6. ADA COMPLIANT, 19" OVAL LAVATORY SINK BOWL BY KOHLER (CAYTON K-2210-0 WHITE), OR APPROVED EQUAL. INCLUDE P-TRAP, SCALD-GUARDS, AND STRAINER DRAIN.
7. 6" GUTTER AND DOWNSPOUT WITH SHUR-FLO GUTTER GUARDS, CONTINUOUS OR APPROVED EQUAL, DARK BRONZE.
8. COOPER LIGHTING METALUX 45WLED-28SL-LW-UNV-L840-CD-1, OR APPROVED EQUAL. INSTALL A NEW LIGHT FIXTURE AT ALL EXISTING LOCATIONS IN RESTROOMS, SURFACE MOUNT.
9. PRESSURE TREATED 2X10 FASCIA, MATCH EXISTING DIMENSIONS, WRAP FASCIA IN BREAK METAL, DARK BRONZE.
10. PRESSURE WASH ENTIRE EXTERIOR BUILDING WITH DE-GREASING DETERGENT, CLEAN WITH STIFF NYLON BRUSHES. ALLOW TO DRY FOR TWO (2) DAYS, THEN COAT ENTIRE EXTERIOR OF BUILDING WITH MICRO-SEAL WITH ANTI-GRAFFITI CMU BLOCK SEALER, FOLLOWING MANUFACTURER'S APPLICATION INSTRUCTIONS.
11. ADA RESTROOM SIGNS, BLACK BACKGROUND, WHITE LETTERING AND GRAPHICS, WITH BRAILLE, PROVIDE ONE WOMEN'S AND ONE MEN'S SIGN THE DOORS. MOUNT SO BRAILLE IS NO HIGHER THAN 48" FROM THE FINISH FLOOR. COMPLIANCE SIGNS RRE-125 AND RRE-145 OR APPROVED EQUAL.
12. 26 GAUGE, VENTED, STEEL SOFFIT PANEL, DARK BRONZE TO MATCH FASCIA AND GUTTERS. CONTRACTOR TO PROVIDE "J" AND "T" TRIM WHERE NECESSARY SO RAW EDGES ARE NOT EXPOSED.
13. SAND-BLAST AND POWDER-COAT LIGHT POLE AND BASE COVER, DARK BRONZE. REINSTALL POLE AND BASE WITH ONE (1) NEW HUBBLE VSP-48L-110-4K7-4-UNV-AD-DB LIGHT HEAD EACH, FOR A TOTAL OF FOUR (4) LIGHT HEADS.
14. MONOLITHIC QUARTZ COUNTERTOP (OC-1), MATCH EXISTING COUNTERTOP DIMENSIONS, 3" DIAMETER ROUNDED ON LOBBY FACING SIDE, ALL EDGES TO BE EASED.
15. BRADMAR SENTINAL 400 SERIES TOILET PARTITIONS, OVERHEAD BRACED, OR APPROVED EQUAL. FOLLOW EXISTING LAYOUT OF PARTITIONS, SPACE EQUALLY BETWEEN TOILET COMPARTMENTS, ENSURE A MINIMUM 5'-6" OF SPACE IN THE ADA COMPARTMENT. COLOR TO BE S200 GRAY. ADA STALL WALL BRACING NEEDS TO BE EXTENDED HIGH ENOUGH TO BE ATTACHED TO MASONRY ABOVE THE WINDOWS.
16. BRADMAR SENTINAL 400 SERIES URINAL SCREEN, OR APPROVED EQUAL, COLOR TO BE S200 GRAY.
17. OVERHEAD COILING DOOR, 22GA GALVANIZED STEEL, 1 1/2" X 1/2" FLAT STEEL SLAT. DOOR TO BE LOCKABLE FROM THE EXTERIOR. HOOD TO BE 24GA STEEL, MOUNT DOOR TO INTERIOR OF EXISTING CMU JAMB, MANUAL CRANK OPERATION, COLOR TO BE DARK BRONZE, FIELD VERIFY DIMENSIONS.
18. REMOVE DOORS, CLEAN DOORS AND FRAMES THOROUGHLY, PAINT WITH TWO (2) COATS OF PNT-1.
19. EXISTING WALL HUNG TOILET TO REMAIN, PROTECT IN PLACE.
20. REINSTALL EXISTING ELECTRICAL BACK-BOX, DUPLEX OUTLET, AND FACEPLATE. REWIRE TO SWITCH TO ENSURE CODE COMPLIANT INSTALLATION.

GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- B. CLEAN CONSTRUCTION AREA THOROUGHLY, INTERIOR AND EXTERIOR, WHEN PROJECT IS COMPLETED.
- C. REFER TO SITE PLAN FOR MORE INFORMATION.
- D. ALL ELECTRICAL TO BE STATE ELECTRICAL CODE COMPLIANT PER IOWA ADMINISTRATIVE RULE CHAPTER 661-504.
- D. ALL PLUMBING TO BE STATE PLUMBING CODE COMPLIANT PER IOWA ADMINISTRATIVE RULE CHAPTER 641-25.

REFERENCE FLOOR PLAN AND DETAILS

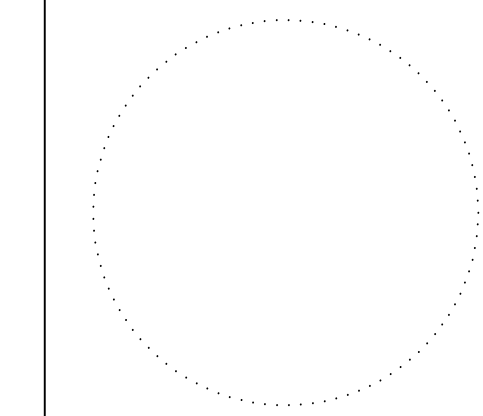
Beach Concession Building Remodel for:  
**Lake Manawa State Park**

1101 South Shore Drive  
Council Bluffs, IA 51501

**IOWA DEPARTMENT OF NATURAL RESOURCES**  
ENGINEERING SERVICES - WALLACE BUILDING  
502 E. 9TH ST., DES MOINES, IA 50319-0034  
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CONSULTANT:



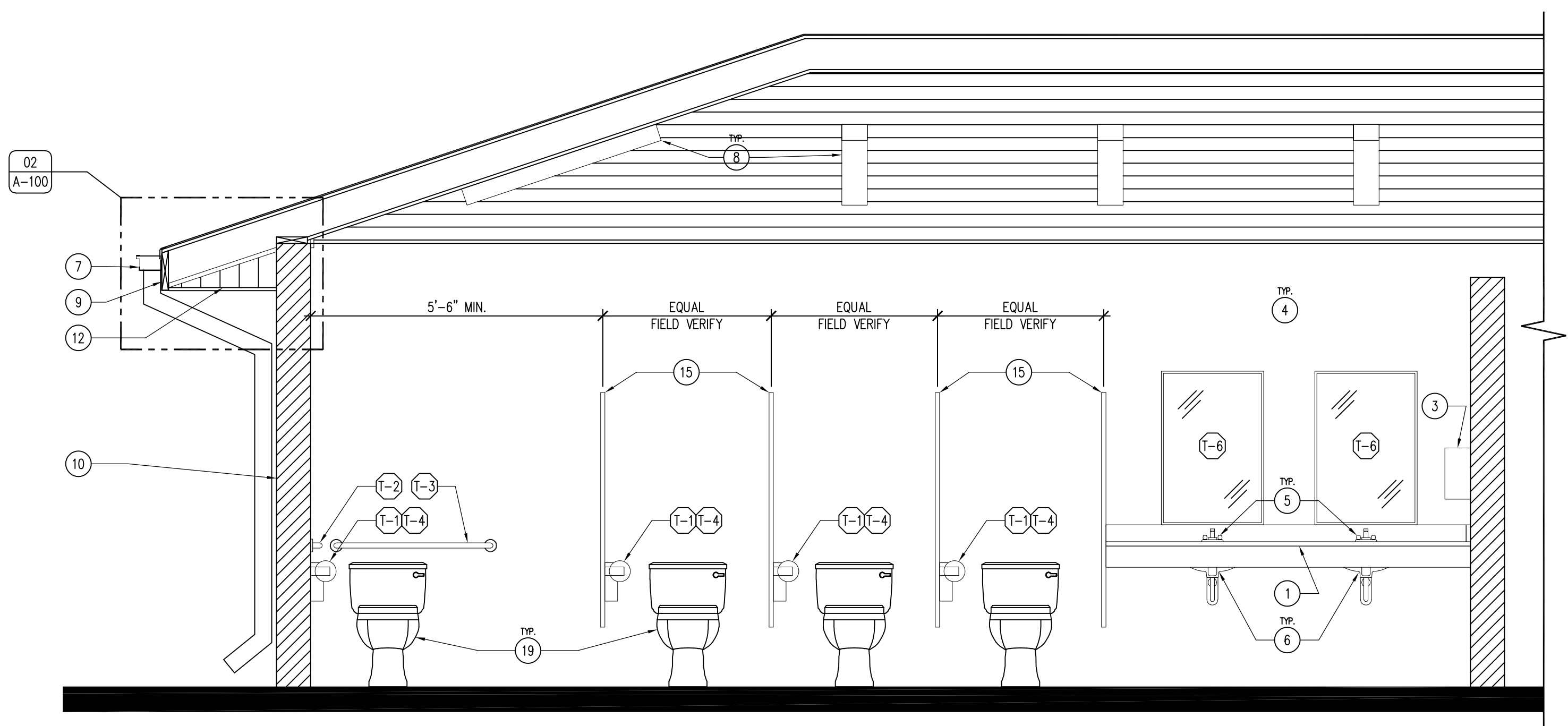
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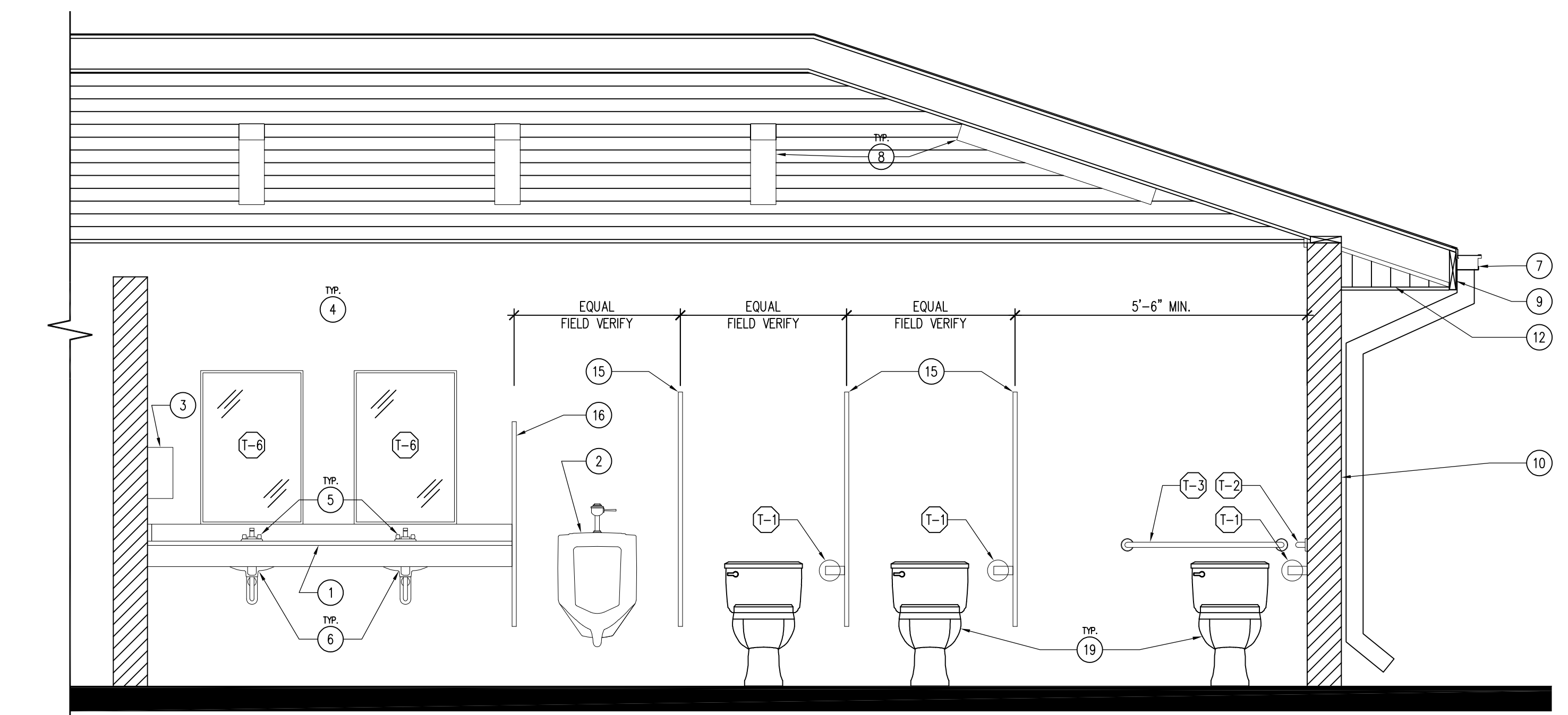
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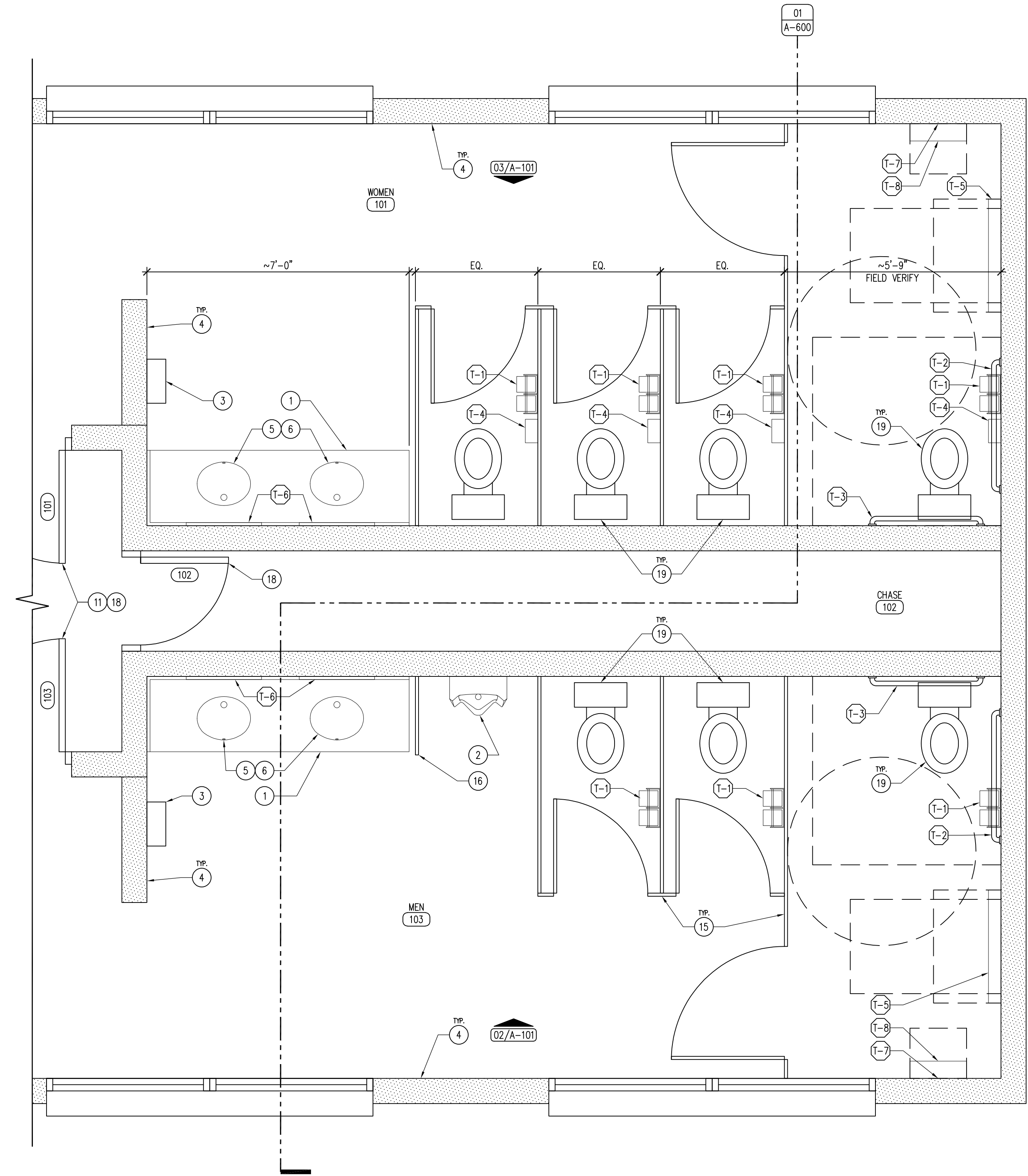
**A-100**



03 INTERIOR ELEVATION – WOMEN 101  
SCALE: 1/2" = 1'-0"



02 INTERIOR ELEVATION – MEN 103  
SCALE: 1/2" = 1'-0"



01 BEACH CONCESSION BUILDING – ENLARGED RESTROOM PLAN  
SCALE: 1/2" = 1'-0"

TOILET ACCESSORY SCHEDULE

ALL MODEL NUMBERS BASED ON BOBRICK WASHROOM EQUIPMENT UNLESS OTHERWISE NOTED.

- (T-1) SURFACE-MOUNTED MULTI-ROLL TOILET PAPER DISPENSER B-274
- (T-2) CONCEALED MOUNTING WITH SNAP FLANGE GRAB BARS B-5806 X 42
- (T-3) CONCEALED MOUNTING WITH SNAP FLANGE GRAB BARS B-5806 X 36
- (T-4) SURFACE-MOUNTED SANITARY NAPKIN DISPOSAL B-270
- (T-5) KOALA KARE HORIZONTAL WALL-MOUNTED BABY CHANGING STATION KB300 (GREY 01)
- (T-6) TEMPERED GLASS WELDED-FRAME MIRROR B-2908 1836
- (T-7) HOOK STRIP B-232 X 24
- (T-8) FOLDING SHOWER SEAT B-5191

KEYNOTES

1. QUARTZ COUNTERTOP (OC-1) OR APPROVED EQUAL, OVER 3/4" PLYWOOD WITH 4" VALENGE AND 4" BACKSPLASH, REUSE EXISTING ANGLE SUPPORTS, OR APPROVED EQUAL. REFER TO DETAIL 03/A-100.
2. ADA URINAL – AMERICAN STANDARD 0.5 GPM MANUAL ADA URINAL (5581.017). MOUNT SO RIM OF URINAL IS 17" ABOVE FINISH FLOOR. ADD SLOAN ROYAL 186 FLUSH VALVE WITH MANUAL LEVER AND ALL ACCESSORIES.
3. HAND-DRYER BY EXCEL, OR APPROVED EQUAL (XL-GR-110-120V). INSTALL INTO EXISTING ELECTRICAL J-BOX. CONTRACTOR TO RUN NEW ELECTRICAL LINE TO PANEL IF NOT PROVIDED.
4. PRESSURE WASH INTERIOR OF RESTROOMS (WOMEN 101 AND MEN 103) WITH DE-GREASING DETERGENT, CLEAN WITH STIFF NYLON BRUSHES. ALLOW TO DRY, THE PAINT TWO (2) COATS OF PNT-2.
5. LAVATORY FAUCET AND TRIM PACKAGE BY CHICAGO FAUCETS: 3400-TA-BCP, STRAINER DRAIN WITH SCALD GUARDS ON P-TRAP PIPING.
6. ADA COMPLIANT, 19" OVAL LAVATORY SINK BOWL BY KOHLER (CAYTON K-2210-0 WHITE), OR APPROVED EQUAL. INCLUDE P-TRAP, SCALD-GUARDS, AND STRAINER DRAIN.
7. 6" GUTTER AND DOWNSPOUT WITH SHUR-FLO GUTTER GUARDS, CONTINUOUS OR APPROVED EQUAL, DARK BRONZE.
8. COOPER LIGHTING METALUX 4SWLED-28SL-LW-UNV-L840-CD-1, OR APPROVED EQUAL. INSTALL A NEW LIGHT FIXTURE AT ALL EXISTING LOCATIONS IN RESTROOMS, SURFACE MOUNT.
9. PRESSURE TREATED 2X10 FASCIA, MATCH EXISTING DIMENSIONS, WRAP FASCIA IN BREAK METAL, DARK BRONZE.
10. PRESSURE WASH ENTIRE EXTERIOR BUILDING WITH DE-GREASING DETERGENT, CLEAN WITH STIFF NYLON BRUSHES. ALLOW TO DRY FOR TWO (2) DAYS, THEN COAT ENTIRE EXTERIOR OF BUILDING WITH MICRO-SEAL WITH ANTI-GRAFFITI CMJ BLOCK SEALER, FOLLOWING MANUFACTURER'S APPLICATION INSTRUCTIONS.
11. ADA RESTROOM SIGNS, BLACK BACKGROUND, WHITE LETTERING AND GRAPHICS, WITH BRAILLE, PROVIDE ONE WOMEN'S AND ONE MEN'S SIGN THE DOORS. MOUNT SO BRAILLE IS NO HIGHER THAN 48" FROM THE FINISH FLOOR. COMPLIANCE SIGNS RRE-125 AND RRE-145 OR APPROVED EQUAL.
12. 26 GAUGE, VENTED, STEEL SOFFIT PANEL, DARK BRONZE TO MATCH FASCIA AND GUTTERS. CONTRACTOR TO PROVIDE "J" AND "T" TRIM WHERE NECESSARY SO RAW EDGES ARE NOT EXPOSED.
13. SAND-BLAST AND POWDER-COAT LIGHT POLE AND BASE COVER, DARK BRONZE. REINSTATE POLE AND BASE WITH ONE (1) NEW HUBBLE VSP-48L-110-4K7-4-UNV-AD-DB LIGHT HEAD EACH, FOR A TOTAL OF FOUR (4) LIGHT HEADS.
14. MONOLITHIC QUARTZ COUNTERTOP (OC-1), MATCH EXISTING COUNTERTOP DIMENSIONS, 3" DIAMETER ROUNDED ON LOBBY FACING SIDE, ALL EDGES TO BE EASED.
15. BRADMAR SENTINAL 400 SERIES TOILET PARTITIONS, OVERHEAD BRACED, OR APPROVED EQUAL. FOLLOW EXISTING LAYOUT OF PARTITIONS, SPACE EQUALLY BETWEEN TOILET COMPARTMENTS, ENSURE A MINIMUM 5'-6" OF SPACE IN THE ADA COMPARTMENT. COLOR TO BE S200 GRAY. ADA STALL WALL BRACING NEEDS TO BE EXTENDED HIGH ENOUGH TO BE ATTACHED TO MASONRY ABOVE THE WINDOWS.
16. BRADMAR SENTINAL 400 SERIES URINAL SCREEN, OR APPROVED EQUAL, COLOR TO BE S200 GRAY.
17. OVERHEAD COILING DOOR, 22GA GALVANIZED STEEL, 1 1/2" X 1/2" FLAT STEEL SLAT. DOOR TO BE LOCKABLE FROM THE EXTERIOR. HOOD TO BE 24GA STEEL, MOUNT DOOR TO INTERIOR OF EXISTING CMJ JAMB, MANUAL CRANK OPERATION, COLOR TO BE DARK BRONZE. FIELD VERIFY DIMENSIONS.
18. REMOVE DOORS, CLEAN DOORS AND FRAMES THOROUGHLY, PAINT WITH TWO (2) COATS OF PNT-1.
19. EXISTING WALL HUNG TOILET TO REMAIN, PROTECT IN PLACE.
20. REINSTALL EXISTING ELECTRICAL BACK-BOX, DUPLEX OUTLET, AND FACEPLATE. REWIRE TO SWITCH TO ENSURE CODE COMPLIANT INSTALLATION.

GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- B. CLEAN CONSTRUCTION AREA THOROUGHLY, INTERIOR AND EXTERIOR, WHEN PROJECT IS COMPLETED.
- C. REFER TO SITE PLAN FOR MORE INFORMATION.
- D. ALL ELECTRICAL TO BE STATE ELECTRICAL CODE COMPLIANT PER IOWA ADMINISTRATIVE RULE CHAPTER 661-504.
- D. ALL PLUMBING TO BE STATE PLUMBING CODE COMPLIANT PER IOWA ADMINISTRATIVE RULE CHAPTER 641-25.

ENLARGED PLAN AND ELEVATIONS

Beach Concession Building Remodel for:

Lake Manawa State Park

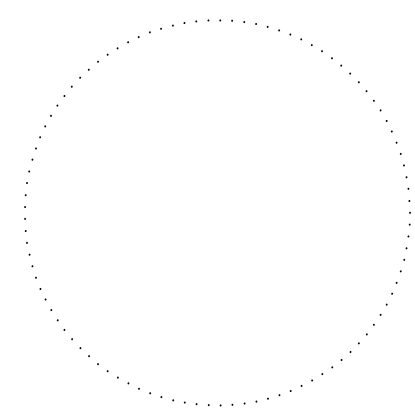
1101 South Shore Drive Council Bluffs, IA 51501

IOWA DEPARTMENT OF NATURAL RESOURCES

ENGINEERING SERVICES - WALLACE BUILDING  
502 E. 9TH ST., DES MOINES, IA 50319-0034  
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CONSULTANT:



NO. BY DATE REVISION

DRAWN BY: PROJECT NUMBER: 23-04-78-02

CHKD BY: DATE: 12.19.2023

SHEET NO:

A-101

### DOOR SCHEDULE

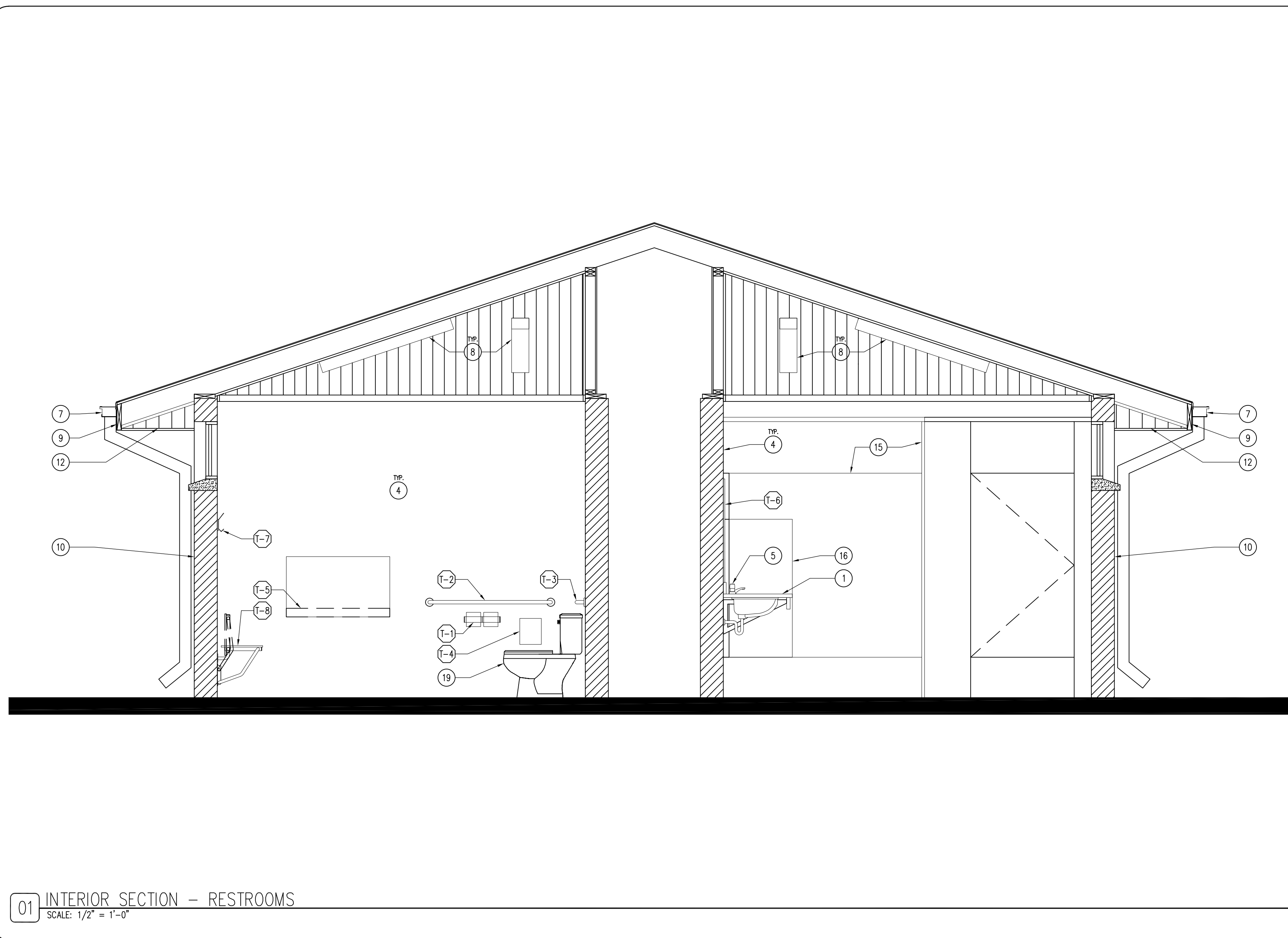
| DOOR NUMBER | DOOR      |        |        | GLASS    |       | FINISH   | FRAME   |      |           | TYPE     | FINISH   | FIRE RATING LABEL | HARDWARE |  | COMMENTS |
|-------------|-----------|--------|--------|----------|-------|----------|---------|------|-----------|----------|----------|-------------------|----------|--|----------|
|             | DIMENSION |        |        | TYPE     | GLASS |          | DETAILS |      |           |          |          |                   | SET #    | KEYSIDE ROOM NUMBER                    |          |
|             | WIDTH     | HEIGHT | THICK. |          |       |          | HEAD    | JAMB | THRESHOLD |          |          |                   |          |  |          |
| 100A        | 6'-0"     | 7'-0"  | -      | EXISTING | -     | PNT-1    | -       | -    | -         | EXISTING | PNT-1    | -                 | -        | REMOVE, CLEAN, AND PAINT TWO (2) COATS |          |
| 100B        | 3'-0"     | 7'-0"  | -      | EXISTING | -     | EXISTING | -       | -    | -         | EXISTING | EXISTING | -                 | -        | CLEAN                                  |          |
| 101         | 3'-0"     | 7'-0"  | -      | EXISTING | -     | PNT-1    | -       | -    | -         | EXISTING | PNT-1    | -                 | -        | REMOVE, CLEAN, AND PAINT TWO (2) COATS |          |
| 102         | 3'-0"     | 7'-0"  | -      | EXISTING | -     | PNT-1    | -       | -    | -         | EXISTING | PNT-1    | -                 | -        | REMOVE, CLEAN, AND PAINT TWO (2) COATS |          |
| 103         | 3'-0"     | 7'-0"  | -      | EXISTING | -     | PNT-1    | -       | -    | -         | EXISTING | PNT-1    | -                 | -        | REMOVE, CLEAN, AND PAINT TWO (2) COATS |          |
| 104A        | 3'-0"     | 7'-0"  | -      | EXISTING | -     | PNT-1    | -       | -    | -         | EXISTING | PNT-1    | -                 | -        | REMOVE, CLEAN, AND PAINT TWO (2) COATS |          |
| 104B        | 3'-0"     | 7'-0"  | -      | EXISTING | -     | EXISTING | -       | -    | -         | EXISTING | EXISTING | -                 | -        | CLEAN                                  |          |
| 105         | 3'-0"     | 7'-0"  | -      | EXISTING | -     | EXISTING | -       | -    | -         | EXISTING | EXISTING | -                 | -        | CLEAN                                  |          |
| 106         | 3'-0"     | 7'-0"  | -      | EXISTING | -     | EXISTING | -       | -    | -         | EXISTING | EXISTING | -                 | -        | CLEAN                                  |          |

### ROOM SCHEDULE

| ROOM # | ROOM NAME   | FLOORING | BASE | NORTH WALL FINISH | EAST WALL FINISH | SOUTH WALL FINISH | WEST WALL FINISH | CEILING | NOTES / COMMENTS              |
|--------|-------------|----------|------|-------------------|------------------|-------------------|------------------|---------|-------------------------------|
| 100    | LOBBY       | -        | -    | -                 | -                | -                 | -                | -       | -                             |
| 101    | WOMEN       | -        | -    | PNT-2             | PNT-2            | PNT-2             | PNT-2            | -       | CLEAN AND PAINT TWO (2) COATS |
| 102    | CHASE       | -        | -    | -                 | -                | -                 | -                | -       | -                             |
| 103    | MEN         | -        | -    | PNT-2             | PNT-2            | PNT-2             | PNT-2            | -       | CLEAN AND PAINT TWO (2) COATS |
| 104    | STORAGE 1   | -        | -    | -                 | -                | -                 | -                | -       | -                             |
| 105    | STORAGE 2   | -        | -    | -                 | -                | -                 | -                | -       | -                             |
| 106    | CONCESSIONS | -        | -    | -                 | -                | -                 | -                | -       | -                             |

### FINISH SCHEDULE

| FINISH MARK                | MATERIAL                     | MANUFACTURER INFO |                        | DIMENSION | COLOR                 | FINISH     | COMMENTS                             |
|----------------------------|------------------------------|-------------------|------------------------|-----------|-----------------------|------------|--------------------------------------|
|                            |                              | COMPANY NAME      | PRODUCT NUMBER         |           |                       |            |                                      |
| <b>FINISH COATINGS</b>     |                              |                   |                        |           |                       |            |                                      |
| PNT-1                      | EXTERIOR ACRYLIC URETHANE    | SHERWIN WILLIAMS  | -                      | -         | DARK BRONZE           | SEMI-GLOSS | DOORS, AND FRAMES                    |
| PNT-2                      | ACRYLIC CMU PAINT            | SHERWIN WILLIAMS  | LOXON SELF-CLEANING    | -         | DNR TAN - COLOR MATCH | SATIN      | TWO (2) COATS INTERIOR RESTROOM      |
| <b>COUNTERTOP MATERIAL</b> |                              |                   |                        |           |                       |            |                                      |
| QC-1                       | ZODIAQ                       | DUPONT            | -                      | 3CM THICK | GRAPHITE              | POLISHED   | MATCH EXISTING COUNTERTOP DIMENSIONS |
| <b>EXTERIOR FINISH</b>     |                              |                   |                        |           |                       |            |                                      |
| SS-1                       | STEEL SOFFIT PANEL           | -                 | V-GROOVE VENTED        | 26GA      | DARK BRONZE           | -          | ALL EAVES AND OVERHANGS              |
| SF-1                       | STEEL FASCIA WRAP            | -                 | COIL STEEL WRAP        | 26GA      | DARK BRONZE           | -          | CONTINUOUSLY WRAP ALL 2X FASCIA      |
| CS-1                       | CMU SEALER AND ANTI-GRAFFITI | RAINGUARD         | MIRCO SEAL W/ GRAFFITI | -         | CLEAR                 | -          | ENTIRE EXTERIOR OF CMU SURFACES      |



#### TOILET ACCESSORY SCHEDULE

ALL MODEL NUMBERS BASED ON BOBBICK WASHROOM EQUIPMENT UNLESS OTHERWISE NOTED.

|       |   |
|-------|---|
| (T-1) | SURFACE-MOUNTED MULTI-ROLL TOILET PAPER DISPENSER<br>B-274                  |
| (T-2) | CONCEALED MOUNTING WITH SNAP FLANGE GRAB BARS<br>B-5806 X 42                |
| (T-3) | CONCEALED MOUNTING WITH SNAP FLANGE GRAB BARS<br>B-5806 X 36                |
| (T-4) | SURFACE-MOUNTED SANITARY NAPKIN DISPOSAL<br>B-270                           |
| (T-5) | KOALA KARE HORIZONTAL WALL-MOUNTED BABY CHANGING STATION<br>KB300 (GREY 01) |
| (T-6) | TEMPERED GLASS WELDED-FRAME MIRROR<br>B-2908 1836                           |
| (T-7) | HOOK STRIP<br>B-232 X 24  |
| (T-8) | FOLDING SHOWER SEAT<br>B-5191   |

#### KEYNOTES

- QUARTZ COUNTERTOP (QC-1) OR APPROVED EQUAL, OVER 3" PLYWOOD WITH 4" VALENCE AND 4" BACKSLASH, REUSE EXISTING ANGLE SUPPORTS, OR APPROVED EQUAL. REFER TO DETAIL 03/A-100.
- ADA URINAL - AMERICAN STANDARD 0.5 GPM MANUAL ADA URINAL (5581.017). MOUNT SO RIM OF URINAL IS 17" ABOVE FINISH FLOOR. ADD SLOAN ROYAL 186 FLUSH VALVE WITH MANUAL LEVER AND ALL ACCESSORIES.
- HAND-DRYER BY EXCEL, OR APPROVED EQUAL (XL-GR-110-120V). INSTALL INTO EXISTING ELECTRICAL J-BOX. CONTRACTOR TO RUN NEW ELECTRICAL LINE TO PANEL IF NOT PROVIDED.
- PRESSURE WASH INTERIOR OF RESTROOMS (WOMEN 101 AND MEN 103) WITH DE-GREASING DETERGENT, CLEAN WITH STIFF NYLON BRUSHES. ALLOW TO DRY, THE PAINT TWO (2) COATS OF PNT-2.
- LAVATORY FAUCET AND TRIM PACKAGE BY CHICAGO FAUCETS: 3400-TA-BCP, STRAINER DRAIN WITH SCALD GUARDS ON P-TRAP PIPING.
- ADA COMPLIANT, 19" OVAL LAVATORY SINK BOWL BY KOHLER (CAYTON K-2210-0 WHITE), OR APPROVED EQUAL. INCLUDE P-TRAP, SCALD-GUARDS, AND STRAINER DRAIN.
- 6" GUTTER AND DOWNSPOUT WITH SHUR-FLO GUTTER GUARDS, CONTINUOUS OR APPROVED EQUAL, DARK BRONZE.
- COOPER LIGHTING METALUX 45WLED-28SL-LW-UNV-L840-CD-1, OR APPROVED EQUAL. INSTALL A NEW LIGHT FIXTURE AT ALL EXISTING LOCATIONS IN RESTROOMS, SURFACE MOUNT.
- PRESSURE TREATED 2X10 FASCIA, MATCH EXISTING DIMENSIONS, WRAP FASCIA IN BREAK METAL, DARK BRONZE.
- PRESSURE WASH ENTIRE EXTERIOR BUILDING WITH DE-GREASING DETERGENT, CLEAN WITH STIFF NYLON BRUSHES. ALLOW TO DRY FOR TWO (2) DAYS, THEN COAT ENTIRE EXTERIOR OF BUILDING WITH MICRO-SEAL WITH ANTI-GRAFFITI CMU BLOCK SEALER, FOLLOWING MANUFACTURER'S APPLICATION INSTRUCTIONS.
- ADA RESTROOM SIGNS, BLACK BACKGROUND, WHITE LETTERING AND GRAPHICS, WITH BRAILLE, PROVIDE ONE WOMEN'S AND ONE MEN'S SIGN THE DOORS. MOUNT SO BRAILLE IS NO HIGHER THAN 48" FROM THE FINISH FLOOR. COMPLIANCE SIGNS RRE-125 AND RRE-145 OR APPROVED EQUAL.
- 26 GAUGE, VENTED, STEEL SOFFIT PANEL, DARK BRONZE TO MATCH FASCIA AND GUTTERS. CONTRACTOR TO PROVIDE "J" AND "T" TRIM WHERE NECESSARY SO RAW EDGES ARE NOT EXPOSED.
- SAND-BLAST AND POWDER-COAT LIGHT POLE AND BASE COVER, DARK BRONZE. REINSTALL POLE AND BASE WITH ONE (1) NEW HUBBLE VSP-48L-110-4K7-4-UNV-AD-DB LIGHT HEAD EACH, FOR A TOTAL OF FOUR (4) LIGHT HEADS.
- MONOLITHIC QUARTZ COUNTERTOP (QC-1), MATCH EXISTING COUNTERTOP DIMENSIONS, 3" DIAMETER ROUNDED ON LOBBY FACING SIDE, ALL EDGES TO BE EASED.
- BRADMAR SENTINAL 400 SERIES TOILET PARTITIONS, OVERHEAD BRACED, OR APPROVED EQUAL. FOLLOW EXISTING LAYOUT OF PARTITIONS, SPACE EQUALLY BETWEEN TOILET COMPARTMENTS, ENSURE A MINIMUM 5'-6" OF SPACE IN THE ADA COMPARTMENT. COLOR TO BE S200 GRAY. ADA STALL WALL BRACING NEEDS TO BE EXTENDED HIGH ENOUGH TO BE ATTACHED TO MASONRY ABOVE THE WINDOWS.
- BRADMAR SENTINAL 400 SERIES URINAL SCREEN, OR APPROVED EQUAL, COLOR TO BE S200 GRAY.

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**SCHEDULES AND DETAILS**

Beach Concession Building Remodel for:  
**Lake Manawa State Park**

1101 South Shore Drive  
Council Bluffs, IA 51501

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DRAWN BY: PROJECT NUMBER:  
23-04-78-02  
CHK'D BY: DATE:  
12.19.2023  
SHEET NO:  
**A-600**