





DIMENSION NOTES

- IN INTERIOR SPACES THE ACTUAL DIMENSIONS MAY BE LESS IMPORTANT THAN IF AT TWO ELEMENTS IN THE BUILDING WERE TO BE EQUAL. IN THESE CASES, THE WORD "EQUAL OR EQ" IS USED IN LIEU OF THE ACTUAL DIMENSIONS.
- WHEN A ROOM CENTERLINE IS INDICATED ONLY ONE SIDE OF THE ROOMS ELEMENTS MAY BE DIMENSIONED.
- COLUMN IDENTIFICATION: DETAILS WILL GOVERN ALL DIMENSIONS AND NO DIMENSIONS WILL BE SHOWN ON SMALL SCALE PLANS.
- PARTITION CENTERED ON COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON SMALL SCALE PLANS.
- PARTITION WITH A FINISHED FACE FLUSH WITH FINISH FACE OF COLUMN WILL NOT BE DIMENSIONED ON SMALL SCALE PLANS.
- PARTITION FINISH FACE ON COLUMN OR GRID LINE WILL NOT BE DIMENSIONED ON SMALL SCALE PLANS.
- WHEN ONE JAMB OCCURS AT A COLUMN OR GRID LINE NO DIMENSIONS WILL BE SHOWN ON THE SMALL SCALE PLANS. THE OPENING WIDTH WILL BE GOVERNED BY CRITERIA OR SCHEDULES.
- WHEN NEITHER JAMB OCCURS AT A COLUMN OR GRID LINE ONE JAMB WILL BE DIMENSIONED.
- DOOR LOCATIONS ARE TO BE LOCATED BY ONE OF FOLLOWING:
  - ONE JAMB FACE LOCATED BY A PARTITION AT RIGHT ANGLE. 4 TYPICAL UNLESS INDICATED ON PLAN.
  - OR AS DIMENSIONED ON PLAN.
- PARTITIONS ARE DIMENSIONED TO FACE OF CMU OR FACE OF STUD UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.

MATERIAL LEGEND

	EARTH		CONCRETE MASONRY UNIT		GYP SUM / STUCCO		brick
	COMPACTED EARTH		metal stud		grout		CONCRETE
	GRASS		PARTICLE BOARD		sand		ASPHALT
	GRAVEL		PLYWOOD		foam INSULATION		cast stone
	clay		BATT INSULATION		RIGID INSULATION		stone
	fence		ACOUSTICAL CEILING TILE		ALUMINUM		glass
	turf block		plastic		STEEL		WOOD BLOCKING
	pavers		carpet		FINISHED WOOD		CONTINUOUS WOOD

SYMBOL LEGEND

	NORTH AAROW		ROOM /SPACE IDENTIFICATION
	DRAWING / DETAIL IDENTIFICATION		DOOR TAG
	SECTION REFERENCE		WINDOW TAG
	DETAIL REFERENCE		WALL TYPE REFERENCE
	EXTERIOR ELEVATION		KEYNOTE - NEW/RENOVATION
	INTERIOR ELEVATION		KEYNOTE - FINISH/ACCESSORY
	ELEVATION TARGET		PROPERTY LINE REFERENCE
	COLUMN GRID		CENTER LINE REFERENCE
	MATCH LINES		LEVEL CHANGE REFERENCE
			DETAIL CUT LINE
			REVISION NUMBER AND CLOUD

GENERAL NOTES

- THE FOLLOWING GENERAL NOTES SHALL PERTAIN TO THE ENTIRE SET OF CONTRACT DOCUMENTS
- A GENERAL CONTRACTOR SHALL NOTE THAT THE ARCHITECTURAL DRAWINGS ARE ESTABLISHING A MINIMUM MATERIAL OR CONSTRUCTION METHOD STANDARD. THE GENERAL CONTRACTOR SHALL PROVIDE A BID PRICE BASED ON THE SPECIFIC MATERIALS NOTED.
  - DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
  - GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM THEIR WORK IN ACCORDANCE WITH ALL APPLICABLE CODES GOVERNING EACH TRADE.
  - THE CONTRACTOR SHALL MAINTAIN A CLEAN AND ORGANIZED JOB SITE, ACCEPTABLE TO THE OWNER.
  - THE CONTRACTOR SHALL COORDINATE THE SEQUENCE OF WORK WITH THE OWNER REPRESENTATIVE.
  - THERE SHALL BE NO DEVIATION BY THE GENERAL CONTRACTOR FROM THE CONSTRUCTION DOCUMENTS UNLESS APPROVED IN WRITING BY THE ARCHITECT.
  - EACH CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO THE INITIATION OF WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS INTERFERING WITH THE ABILITY OF THE CONTRACTOR TO COMPLETE WORK AS OUTLINED ON THE CONSTRUCTION DRAWINGS.
  - ALL CONTRACTORS ARE REQUIRED TO COORDINATE THEIR WORK WITH OTHER TRADES. LACK OF THIS COORDINATION RESULTING IN ADDED COST TO THE CONTRACT WILL BE BORNE BY THE CONTRACTOR.
  - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING BUILDING WATER TIGHT DURING CONSTRUCTION.
  - THE CONTRACTOR WILL VERIFY THAT EXIT EGRESS IS MAINTAINED FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT ALL PHASES OF CONSTRUCTION.
  - PLAN DIMENSIONS ARE GIVEN TO FACE OF STUD OR BLOCK WALL. "CLEAR" DIMENSIONS ARE GIVEN TO THE FACE THE OWNER WILL ASSUME ALL LIABILITY AND SHALL TAKE PERSONAL RESPONSIBILITY FOR ANY DECISIONS THAT THEY MAKE TO CHANGE OR ALTER THE CONSTRUCTION DOCUMENTS WITHOUT THE ARCHITECT'S WRITTEN APPROVAL.
  - PROTECT ALL EXISTING FINISHES AND MATERIALS TO REMAIN, IN ACCORDANCE WITH ACCEPTABLE TRADE PRACTICES, MANUFACTURER, RECOMMENDATIONS, OR AS DIRECTED BY THE ARCHITECT.
  - CUTTING OF EXISTING CONSTRUCTION FOR THE INSTALLATION OF ALL NEW WORK BY ALL TRADES, AND THE SUBSEQUENT PATCHING THEREOF, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, WHETHER THE WORK IS DONE BY HIS OWN FORCES OR NOT. GRINDING OF MATERIALS FOR REMOVAL SHALL NOT BE PERMITTED. CUTTING SHALL BE TO STRAIGHT LINE. UNWORKMAN-LIKE CUTTING, DAMAGE RESULTING THEREFROM AND UNACCEPTABLE PATCHING SHALL BE REPAIRED AND/OR REPLACED TO AN ACCEPTABLE CONDITION APPROVED BY THE ARCHITECT. A OWNER PROJECT REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO CUTTING OF ANY STRUCTURAL ITEM (I.E. CONCRETE FLOOR, MASONRY WALL, ETC.) WITHIN THE EXISTING BUILDING. METHOD OF CUTTING SHALL BE APPROVED BY THE OWNER PROJECT REPRESENTATIVE.
  - PATCHING MATERIAL SHALL MATCH EXISTING ADJACENT MATERIALS AS CLOSELY AS POSSIBLE IN COLOR, PATTERNS, AND/OR TEXTURES.
  - ALL SALVAGE MATERIALS REMOVED SHALL REMAIN THE PROPERTY OF THE OWNER. ALL NON-SALVAGE CONSTRUCTION MATERIALS AND DEBRIS FROM DEMOLITION WORK SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES, UNLESS OTHERWISE NOTED.
  - ISOLATE ALL DISSIMILAR METALS. O SHALL REQUEST APPROVAL BY THE ARCHITECT FOR MATERIALS USED FOR THIS PURPOSE, PRIOR TO INSTALLATION.
  - SEALANTS SHALL BE COMPATIBLE WITH ADJACENT SURFACE(S) THAT ARE IN CONTACT. REFER TO SPECIFICATIONS FOR APPROVED MANUFACTURERS AND PROCEDURES.
  - CAULK JOINTS OF DISSIMILAR EXPOSED TO VIEW MATERIALS AS REQUIRED BY THE ARCHITECT.
  - ALL DOOR HARDWARE TO BE FL. ADA COMPLIANT.
  - ALL EXTERIOR WALLS, DOORS AND WINDOWS ARE EXISTING U.N.O.
  - ALL FINISHES TO BE PER CLASS INDICATED ON A-004
  - NO CONSTRUCTION SHALL OCCUR WITHOUT SHOP DRAWING APPROVAL. SHOP DRAWINGS TO BE PROVIDED TO ARCHITECT FOR REVIEW UPON BEING REVIEWED AND SIGNED/DATED BY THE GENERAL CONTRACTOR AND SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING ITEMS:
    - CABINERY MILLWORK
    - RUNNING TRIM AND CASING PROFILES
    - PAINT/LAMINATE COLOR SAMPLES
    - ACOUSTICAL CEILING AND GRID
    - TOILET ACCESSORIES
    - KITCHEN EQUIPMENT
    - ROOF PENETRATIONS
    - HVAC EQUIPMENT
    - PLUMBING EQUIPMENT AND FIXTURES
    - ELECTRICAL EQUIPMENT AND FIXTURES
  - PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL SUBMIT (2) COPIES OF MATERIAL SAFETY DATA SHEETS (MSDS) FOR ALL PRODUCTS USED TO PERFORM THE WORK.

PROJECT SCOPE

THE FOLLOWING NARRATIVE SHALL OUTLINE THE PROJECT SCOPE OF THE FOLLOWING SET OF CONTRACT DOCUMENTS:

CONTRACTOR SHALL DEMOLISH, IN IT'S ENTIRETY, FOUR (4) SEPARATE BUILDINGS, INCLUDING FOUNDATIONS, SHOWN ON PLANS. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL CUT AND CAP ALL UTILITIES, ELECTRIC, WATER AND SEWER, PROTECT FOR FUTURE USE. CONTRACTOR SHALL THEN GRADE FOR AND INSTALL NEW HUFFCUTT RESTROOM AS SPECIFIED, ONE (1) 6-HOLE RESTROOM. ALSO INCLUDED IN THIS CONTRACT THE CONTRACTOR SHALL INSTALL NEW ADA PARKING AREA AND SIDEWALKS AS SHOWN. CONTRACTOR SHALL RESTORE ALL SITE CONDITIONS TO THE ORIGINAL STATE WHICH WERE AFFECTED DURING DEMOLITION. CONTRACTOR SHALL RUN AND INSTALL UTILITIES, ELECTRIC, WATER AND SEWER AND ABIDE BY ALL CODES AND REGULATIONS. CONTRACTOR SHALL THEN RESEED AND RESTORE THE DISTURBED CONSTRUCTION AREA.

\*ALL STEEL REINFORCING TO BE EPOXY COATED.

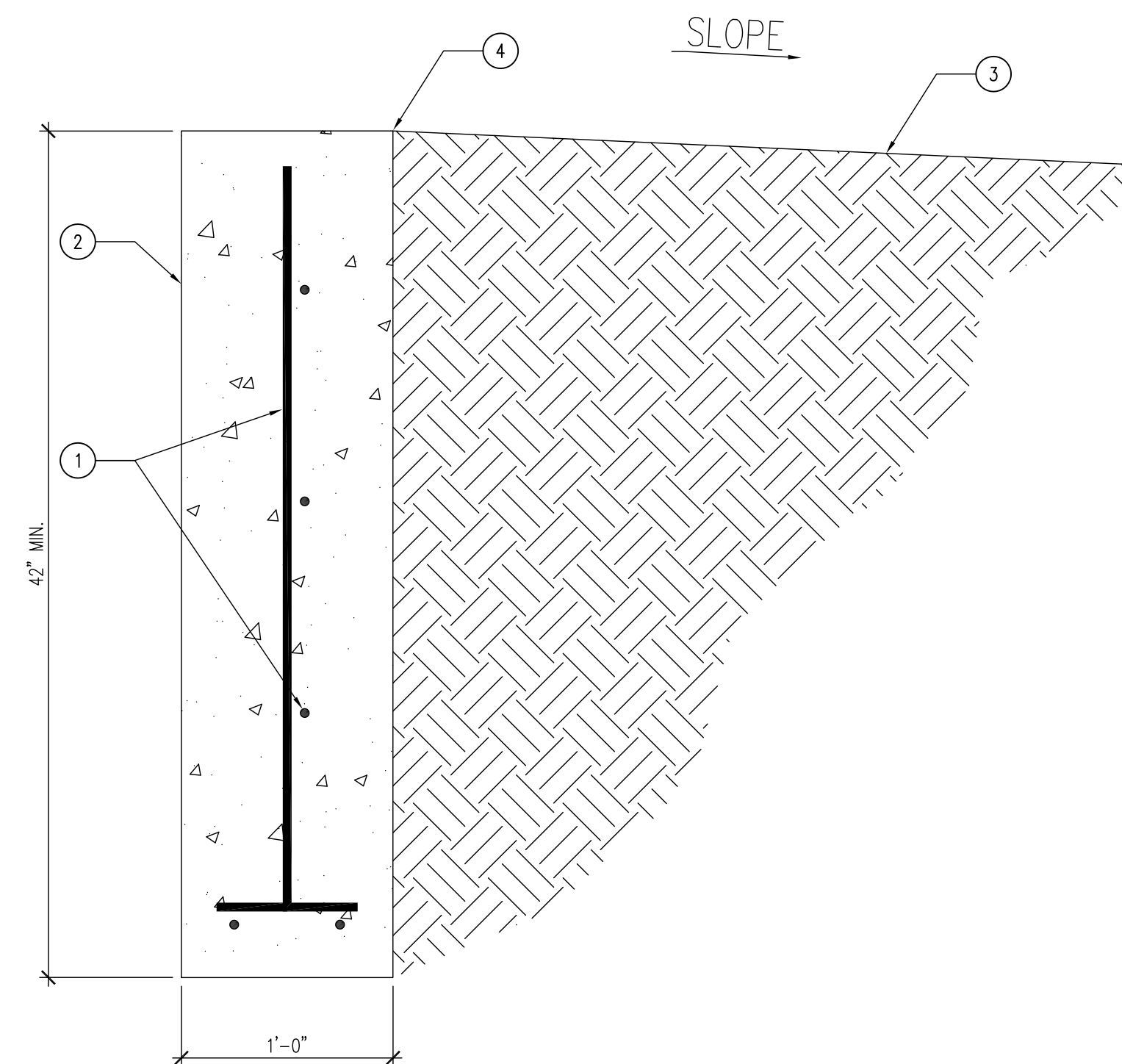
ABBREVIATIONS

ABV	ABOVE	MANUF	MANUFACTURER
AFF	ABOVE FINISH FLOOR	MAX	MAXIMUM
ACT	ACOUSTICAL CEILING TILE	MO	MASONRY OPENING
AHU	AIR HANDLER UNIT	MECH	MECHANICAL
AL	ALUMINUM	MEMB	MEMBRANE
AB	ANCHOR BOLT	MTL	METAL
AT	AT	MIN	MINIMUM
BM	BEAM	N/A	NOT APPLICABLE
BRG	BEARING	NIC	NOT IN CONTRACT
BLK	BLOCK	NTS	NOT TO SCALE
BD	BOARD	#	NUMBER
BTM	BOTTOM	OA	OVERALL
BLDG	BUILDING	OC	ON CENTER
BUR	BUILT-UP ROOF	OCC	OCCUPANCY
CAB	CABINET	OPNG	OPENING
CPT	CARPET	OPP	OPPOSITE
CF	CEILING FINISH	OH	OVERHANG
CIP	CAST IN PLACE	PAV	PAVERS
CLG	CEILING	PNT	PAINTED
CL	CENTER LINE	PR	PAIR
CT	CERAMIC TILE	PBO	PURCHASED BY OWNER
CLR	CLEAR	PF	PRE-FINISHED/PRIMED
COL	COLUMN	PL	PLATE
CONC	CONCRETE	PLMB	PLUMBING
CMU	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
CONT	CONTINUOUS	PT	PRESSURE TREATED
CJ	CONTROL JOINT	POR	POINT OF REFERENCE
DIA	DIAMETER	QT	QUARRY TILE
DEMO	DEMOLITION	R	RADIUS
DR	DOOR	RCP	REFLECTED CEILING PLAN
DN	DOWN	REINF	REINFORCED
DS	DOWNSPOUT	RENO	RENOVATION
DWG	DRAWINGS	REQ'D	REQUIRED
ELEC	ELECTRICAL	RD	ROOF DRAIN
EWC	ELECTRIC WATER COOLER	RM	ROOM
ELEV	ELEVATION	RO	ROUGH OPENING
EQ	EQUAL	S	STAIN
EXIST	EXISTING	SECT	SECTION
EJ	EXPANSION JOINT	SIM	SIMILAR
EXT	EXTERIOR	SC	SOLID CORE
FIN	FINISH	ST	STUCCO
FV	FIELD VERIFY	SPEC	SPECIFICATION
FE	FIRE EXTINGUISHER	SF	SQUARE FOOT
FLR	FLOOR	SS	STAINLESS STEEL
FD	FLOOR DRAIN	STL	STEEL
FTG	FOOTING	STRUCT	STRUCTURAL
FR	FIRE RETARDANT	STD	STANDARD
GA	GAUZE	TR	TRUSS
GC	GENERAL CONTRACTOR	TG	TEMPERED GLASS
GALV	GALVANIZED	TEXT	TEXTURED
GFI	GROUND FAULT INTERRUPT	TYP	TYPICAL
GYP	GYP SUM	T&G	TONGUE & GROOVE
HC	HANDICAPPED	T&B	TOP & BOTTOM
HW	HARDWARE	UL	UNDERWRITERS LAB
HT	HEIGHT	UNO	UNLESS NOTED OTHERWISE
HDR	HEADER	VP	VAPOR BARRIER
HM	HOLLOW METAL	VB	VINYL BASE
IC	INSTALLED BY CONTRACTOR	VCT	VINYL COMPOSITION-TILE
IO	INSTALLED BY OWNER	VWC	VINYL WALL COVERING
INSUL	INSULATION	WC	WATER COOLER
INT	INTERIOR	WH	WATER HEATER
JAN	JANITOR	WFF	WELDED WIRE FABRIC
JT	JOINT	WD	WOOD
LAM	LAMINATED	W	WITH
LF	LINEAR FEET	W/O	WITHOUT

KEYNOTES

- #4 REBAR 12" O.C. BOTH DIRECTIONS WITH 2 #4 REBAR RUNNING CONTINUOUS AT THE BASE OF FOOTING.
- 12" X 48" DEEP, CONCRETE TRENCH FOOTING. ENTIRE BUILDING PERIMETER AND AT ALL PRECAST WALLS WHERE UNITS CONNECT.
- GRADE, RESLOPE AWAY FROM BUILDING.
- FORM TOP 6" OF FOUNDATION TO MAKE A CLEAN EXTERIOR EDGE.

\* FOOTING TO BE PLACED AROUND ENTIRE PERIMETER OF RESTROOM AND BETWEEN ALL MODULES.



01 DETAIL - FOUNDATION DESIGN  
SCALE: 1 1/2" = 1'-0"

CONSULTANT:

IOWA DEPARTMENT OF  
NATURAL RESOURCES

ENGINEERING SERVICES - WALLACE BUILDING  
502 E. 9TH ST., DES MOINES, IA 50319-0034  
P: 515.725.6200  
F: 515.725.6202



NOTES & SYMBOLS & DETAILS

RESTROOM BUILDING REPLACEMENTS FOR:  
HONEY CREEK STATE PARK

MORAVIA, IA 52571

12194 HONEY CREEK PLACE

NO. BY REVISION

DRAWN BY: PROJECT NUMBER:

18-05-04-01

CHK'D BY: DATE:

11.27.2017

SHEET NO:

A-002



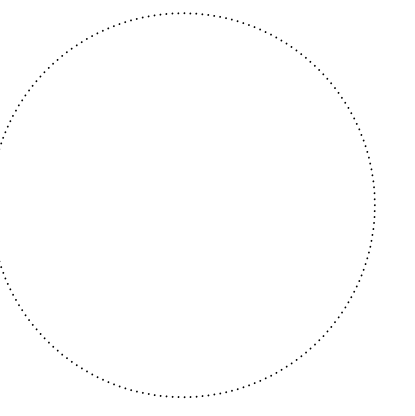






**01** DEMOLITION SITE PLAN  
SCALE: 1/32" = 1'-0"

CONSULTANT:



**IOWA DEPARTMENT OF  
NATURAL RESOURCES**  
ENGINEERING SERVICES - WALLACE BUILDING  
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**DEMOLITION PLAN - SITE PLAN**

**RESTROOM BUILDING REPLACEMENTS FOR:  
HONEY CREEK STATE PARK**

12194 HONEY CREEK PLACE  
MORAVIA, IA 52571

	KEYNOTES	GENERAL NOTES
	<ol style="list-style-type: none"> <li>1. REMOVE EXISTING SIDEWALK.</li> <li>2. EXISTING SIDEWALK TO REMAIN.</li> <li>3. DEMOLISH AND REMOVE EXISTING RESTROOM/SHOWER BUILDING IN ITS ENTIRETY AND ALL COMPONENTS.</li> <li>4. CUT AND CAP EXISTING WATER SERVICE LINE. PREPARE AND PROTECT FOR DRAIN-DOWN PIT.</li> <li>5. REMOVE EXISTING SANITARY WASTE LINE BACK TO MAN-HOLE.</li> <li>6. CUT EXISTING ELECTRICAL LINE FOR NEW BUILDING.</li> <li>7. EXISTING PARKING TO REMAIN.</li> <li>8. EXISTING MANHOLE TO REMAIN.</li> <li>9. REMOVE TREE IF NECESSARY, CONSULT WITH DNR INSPECTOR.</li> <li>10. EXISTING ELECTRICAL TRANSFORMER TO REMAIN.</li> <li>11. NOT USED.</li> <li>12. REMOVE EXISTING CURB STOP.</li> <li>13. EXISTING HAND-HOLE AND LINE TO REMAIN.</li> </ol>	<ol style="list-style-type: none"> <li>A. ALL ELECTRICAL SHALL BE NEC CODE COMPLIANT AND ALL CODES AND ORDINANCES SHALL BE FOLLOWED WHICH ARE REQUIRED BY LAW. ALL OUTLETS TO BE MOUNTED AT 42" A.F.F.</li> <li>B. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.</li> <li>C. PRECAST CONCRETE MODULAR BUILDING BY HUFFCUTT OR PRE-APPROVED EQUAL.</li> <li>D. ALL SANITARY AND WATER LINE WORK SHALL COMPLY WITH ALL APPLICABLE CODES AS NECESSARY BY LAW PER STATE AND LOCAL JURISDICTION.</li> <li>E. REMOVE ALL TREES WHICH CONFLICT WITH THE INSTALLATION OF THE NEW SHOWER/RESTROOM BUILDING. PROTECT ALL TREES IN PLACE WHICH MAY REMAIN.</li> <li>F. GRADE EXISTING SITE -6" BELOW CURRENT BUILDING ELEVATION FOR PROPER INSTALL OF PRECAST BUILDING. COORDINATE WITH DNR INSPECTOR AND PRECAST SHOWER BUILDING MANUFACTURER PRIOR TO PROJECT COMMENCEMENT.</li> </ol>

NO.	BY	DATE	REVISION

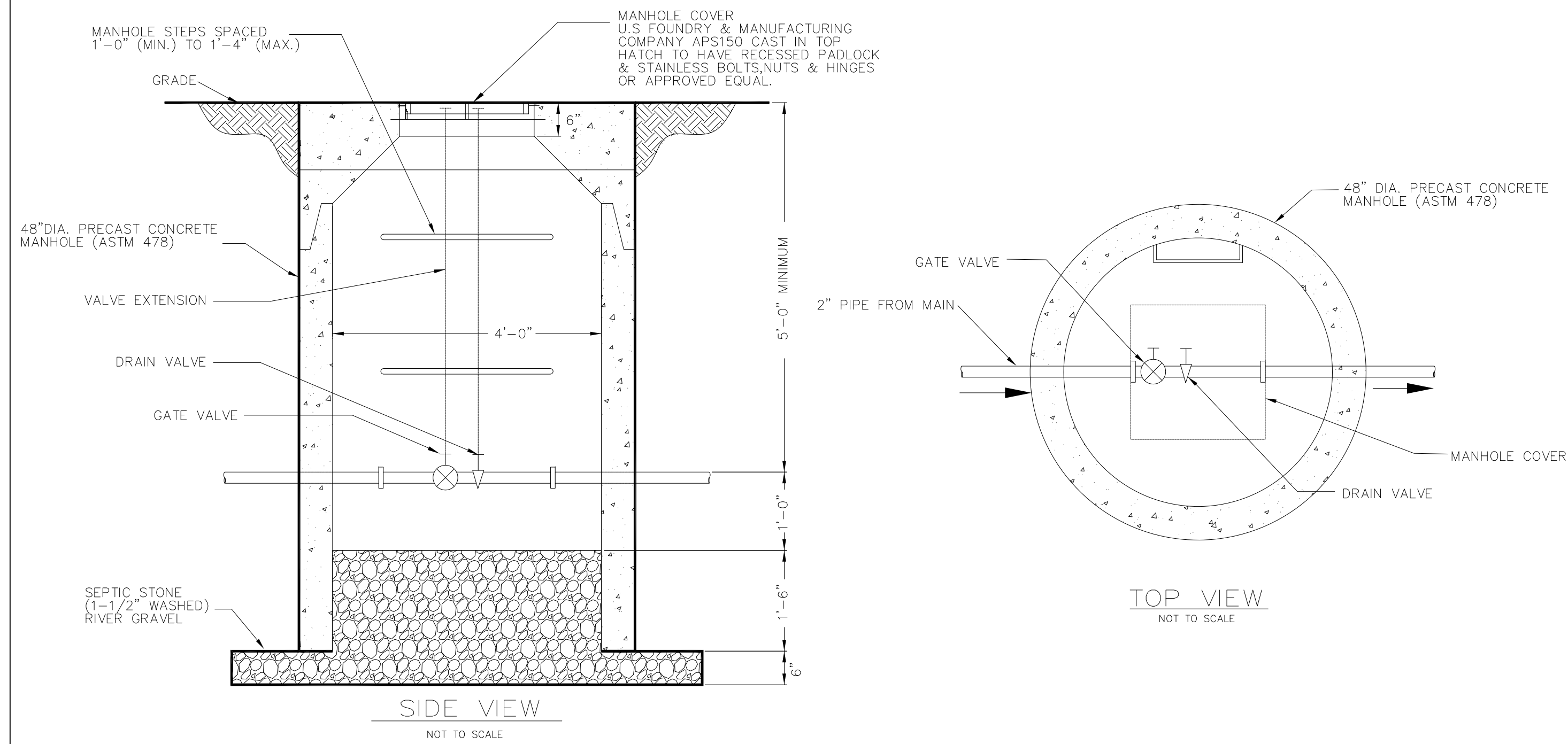
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18-05-04-01

CHK'D BY: DATE:  
11.27.2017

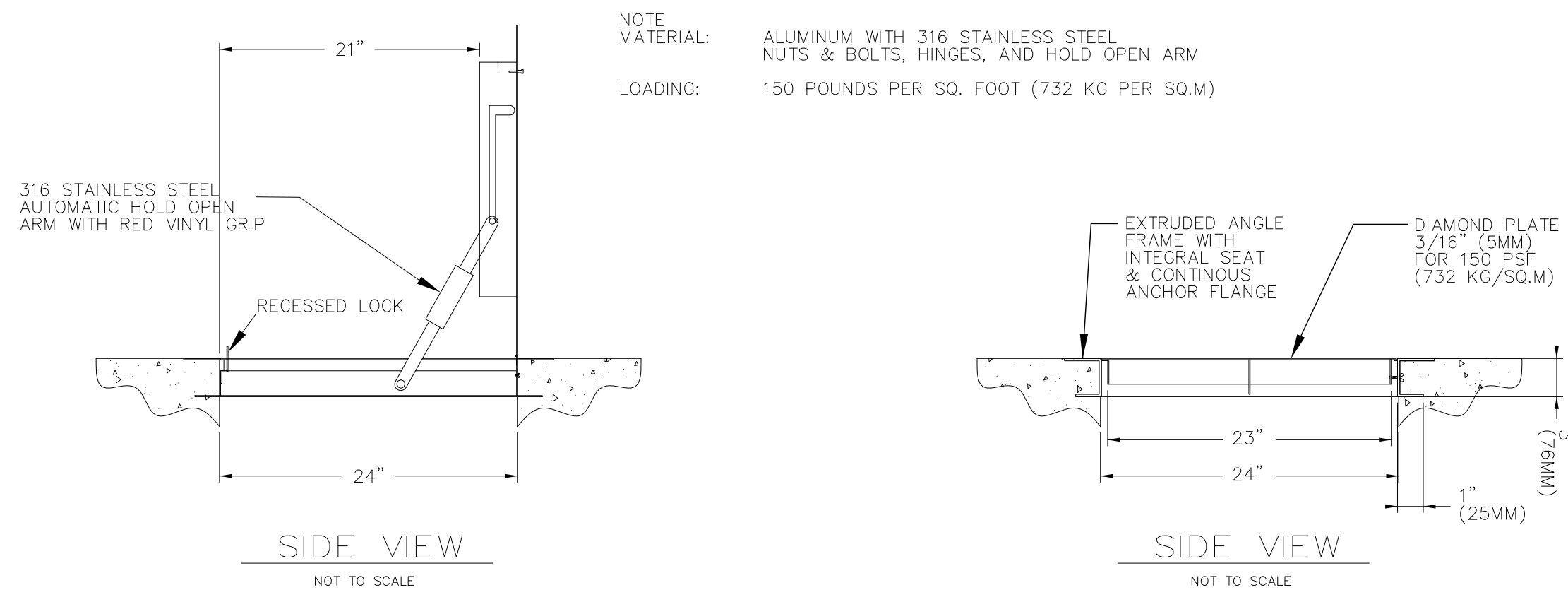
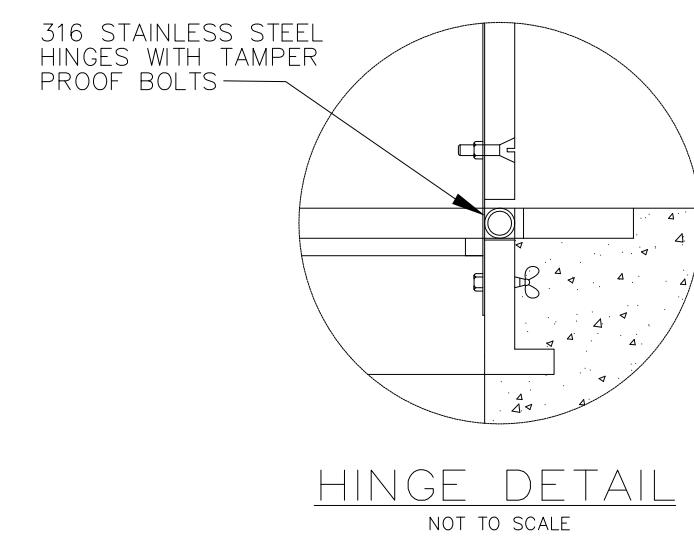
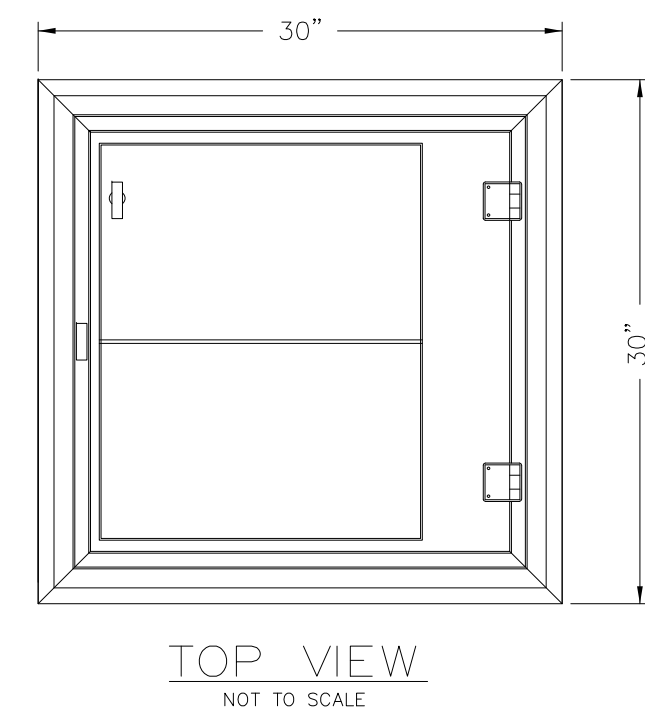
SHEET No:

**A-050**





**DRAIN-DOWN PIT**  
NOT TO SCALE



**MANHOLE COVER**  
NOT TO SCALE

**02** DETAIL - DRAIN-DOWN PIT  
SCALE: NTS



**01** DEMOLITION PLAN - CAMPGROUND SHOWER  
SCALE: 1/16" = 1'-0"

**KEYNOTES**

1. REMOVE EXISTING SIDEWALK.
2. EXISTING SIDEWALK TO REMAIN.
3. DEMOLISH AND REMOVE EXISTING RESTROOM/SHOWER BUILDING IN IT'S ENTIRETY AND ALL COMPONENTS.
4. CUT AND CAP EXISTING WATER SERVICE LINE, PREPARE AND PROTECT FOR DRAIN-DOWN PIT.
5. REMOVE EXISTING SANITARY WASTE LINE BACK TO MAN-HOLE.
6. CUT EXISTING ELECTRICAL LINE FOR NEW BUILDING.
7. EXISTING PARKING TO REMAIN.
8. EXISTING MANHOLE TO REMAIN.
9. REMOVE TREE IF NECESSARY, CONSULT WITH DNR INSPECTOR.
10. EXISTING ELECTRICAL TRANSFORMER TO REMAIN.
11. NOT USED.
12. REMOVE EXISTING CURB STOP.
13. EXISTING HAND-HOLE AND LINE TO REMAIN.

**GENERAL NOTES**

- A. ALL ELECTRICAL SHALL BE NEC CODE COMPLIANT AND ALL CODES AND ORDINANCES SHALL BE FOLLOWED WHICH ARE REQUIRED BY LAW. ALL OUTLETS TO BE MOUNTED AT 42" A.F.F.
- B. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- C. PRECAST CONCRETE MODULAR BUILDING BY HUFFCUTT OR PRE-APPROVED EQUAL.
- D. ALL SANITARY AND WATER LINE WORK SHALL COMPLY WITH ALL APPLICABLE CODES AS NECESSARY BY LAW PER STATE AND LOCAL JURISDICTION.
- E. REMOVE ALL TREES WHICH CONFLICT WITH THE INSTALLATION OF THE NEW SHOWER/RESTROOM BUILDING, PROTECT ALL TREES IN PLACE WHICH MAY REMAIN.
- F. GRADE EXISTING SITE -6" BELOW CURRENT BUILDING ELEVATION FOR PROPER INSTALL OF PRECAST BUILDING. COORDINATE WITH DNR INSPECTOR AND PRECAST SHOWER BUILDING MANUFACTURER PRIOR TO PROJECT COMMENCEMENT.

CONSULTANT:

**IOWA DEPARTMENT OF NATURAL RESOURCES**  
ENGINEERING SERVICES - WALLACE BUILDING  
502 E. 9TH ST., DES MOINES, IA 50319-0034  
P: 515.725.6200  
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DEMOLITION PLAN - ENLARGED PLANS

RESTROOM BUILDING REPLACEMENTS FOR:  
**HONEY CREEK STATE PARK**

MORAVIA, IA 52571

12194 HONEY CREEK PLACE

NO. BY DATE REVISION

DRAWN BY: PROJECT NUMBER:

18-05-04-01

CHK'D BY: DATE:

03.29.2017

SHEET NO:

**A-051**





**01** REFERENCE PLAN - BOAT RAMP RESTROOM BUILDINGS  
SCALE: 1/16" = 1'-0"

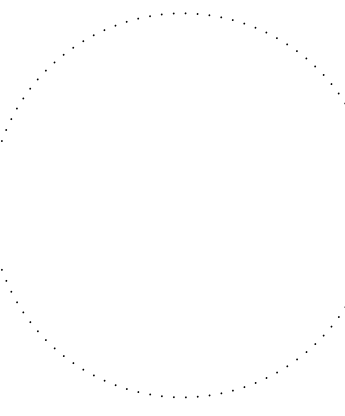
KEYNOTES

1. 6-HOLE IOWA STANDARD, HEATED AND INSULATED FAMILY PRECAST CONCRETE SHOWER BUILDING.
2. 24" NEENAH CAST IRON DETECTION PANELS, ENTIRE WIDTH OF SIDEWALK.
3. 5'-0" CONCRETE SIDEWALK, REFER TO A-102 FOR DETAILS.
4. DRAIN-DOWN PIT, REFER TO 02/A-100 FOR DETAILS.
5. RECONNECT LP GAS TO NEW SHOWER BUILDING.
6. ELECTRICAL LINE TO PROPOSED SHOWER BUILDING.
7. 6-HOLE IOWA STANDARD PRECAST CONCRETE RESTROOM BUILDING.
8. EXISTING ELECTRICAL TRANSFORMER TO REMAIN.
9. NOT USED.
10. EXISTING SIDEWALK TO REMAIN.
11. 4" SCHEDULE 40 PVC SANITARY LINE FROM NEW BUILDING TO EXISTING MANHOLE.
12. EXISTING SANITARY MANHOLE.
13. 2" COPPER WATER SERVICE LINE TO SHOWER BUILDING.
14. SANITARY SEWER CLEANOUT.
15. EXISTING PARKING AREA TO REMAIN. RESTRIPE AS SHOWN IN A-102.
16. EXISTING LP TANK TO REMAIN.
17. EXISTING DISTRIBUTION PANEL TO REMAIN, RUN NEW ELECTRICAL TO BUILDING.
18. EXISTING ELECTRICAL LINE AND HAND-HOLE TO REMAIN, RECONNECT.
19. CONCRETE ADA PARKING AREA WITH PAINT STRIPING, ADA COMPLIANT PARKING SIGNS AND WHEEL BUMPERS, REFER TO SHEET A-102 FOR DETAILS.

GENERAL NOTES

- A. ALL ELECTRICAL SHALL BE NEC CODE COMPLIANT AND ALL CODES AND ORDINANCES SHALL BE FOLLOWED WHICH ARE REQUIRED BY LAW. ALL OUTLETS TO BE MOUNTED AT 42" A.F.F.
- B. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- C. PRECAST CONCRETE MODULAR BUILDING BY HUFFCUTT OR PRE-APPROVED EQUAL.
- D. ALL SANITARY AND WATER LINE WORK SHALL COMPLY WITH ALL APPLICABLE CODES AS NECESSARY BY LAW PER STATE AND LOCAL JURISDICTION.
- E. REMOVE ALL TREES WHICH CONFLICT WITH THE INSTALLATION OF THE NEW SHOWER/RESTROOM BUILDING, PROTECT ALL TREES IN PLACE WHICH MAY REMAIN.
- F. GRADE EXISTING SITE -6" BELOW CURRENT BUILDING ELEVATION FOR PROPER INSTALL OF PRECAST BUILDING. COORDINATE WITH DNR INSPECTOR AND PRECAST SHOWER BUILDING MANUFACTURER PRIOR TO PROJECT COMMENCEMENT.

CONSULTANT:



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502 E. 9TH ST., DES MOINES, IA 50319-0034  
P: 515.725.8200  
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REFERENCE PLAN

RESTROOM BUILDING REPLACEMENTS FOR:  
**HONEY CREEK STATE PARK**

MORAVIA, IA 52571

12194 HONEY CREEK PLACE

NO.	BY	DATE	REVISION

DRAWN BY: PROJECT NUMBER:  
18-05-04-01

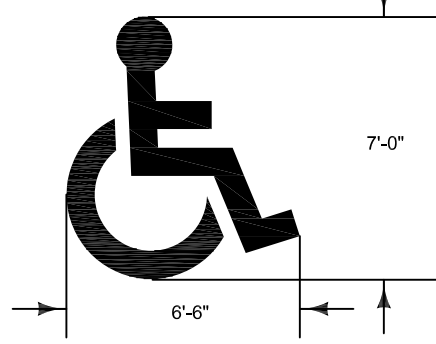
CHK'D BY: DATE:  
11.27.2017

SHEET NO:

**A-101**

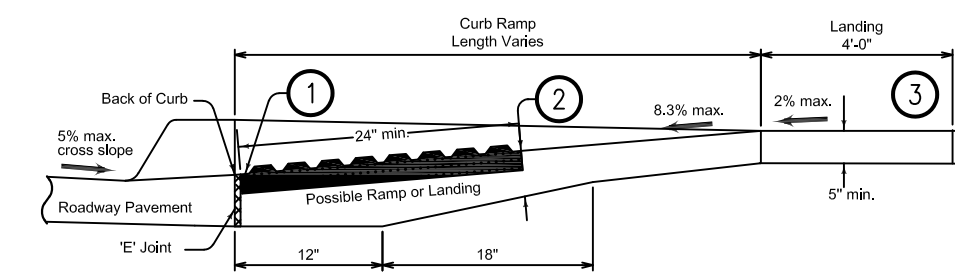


WHEELCHAIR SYMBOL (Blue)



All dimensions shown are nominal. For proper proportion details, see current MUTCD Standard Highway Signs and Markings booklet.  
Pavement word, symbol, and arrow markings are to be proportionally scaled to fit within the width of the facility upon which they are applied.  
IOWA DOT STANDARD ROAD PLAN FM-111 SYMBOLS AND LEGENDS

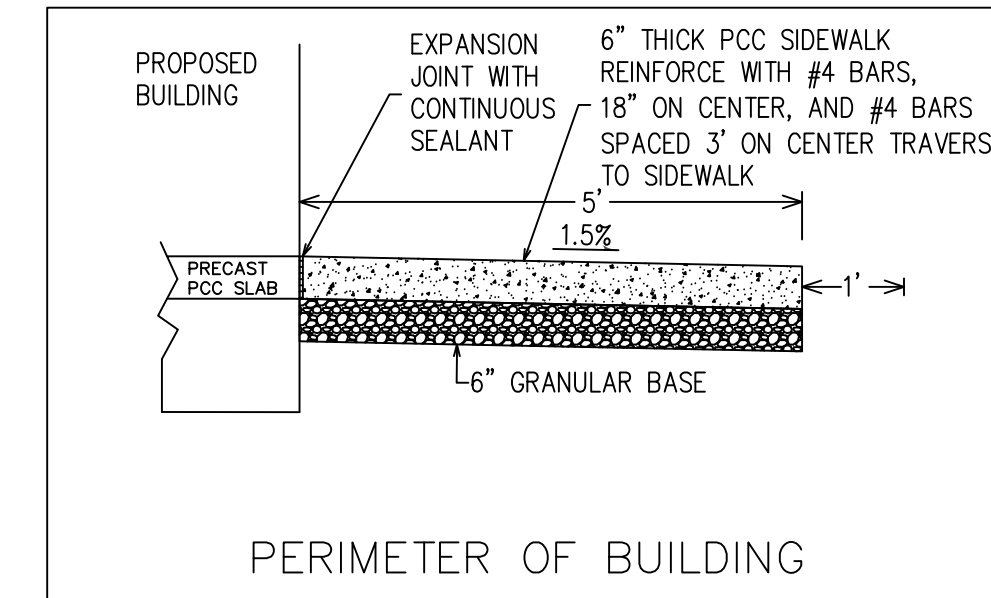
07 DETAIL - UNIVERSAL ACCESSIBLE SYMBOL  
SCALE: NTS



TYPICAL SECTION - CURB RAMP

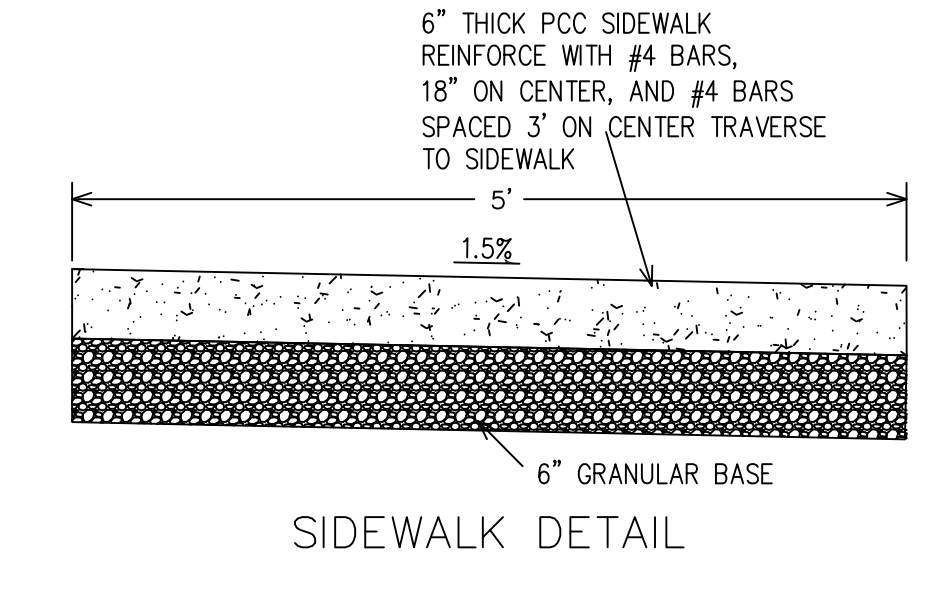
1. Install a 24" deep (min) x width of sidewalk of Neenah cast-iron detectable warnings at entrance to vehicular traffic lane.
2. Provide a minimum of 6" of concrete below the detectable warning panel.
3. Landing: Maximum slope of 2% in any direction.

06 DETAIL - CURB RAMP  
SCALE: NTS



PERIMETER OF BUILDING

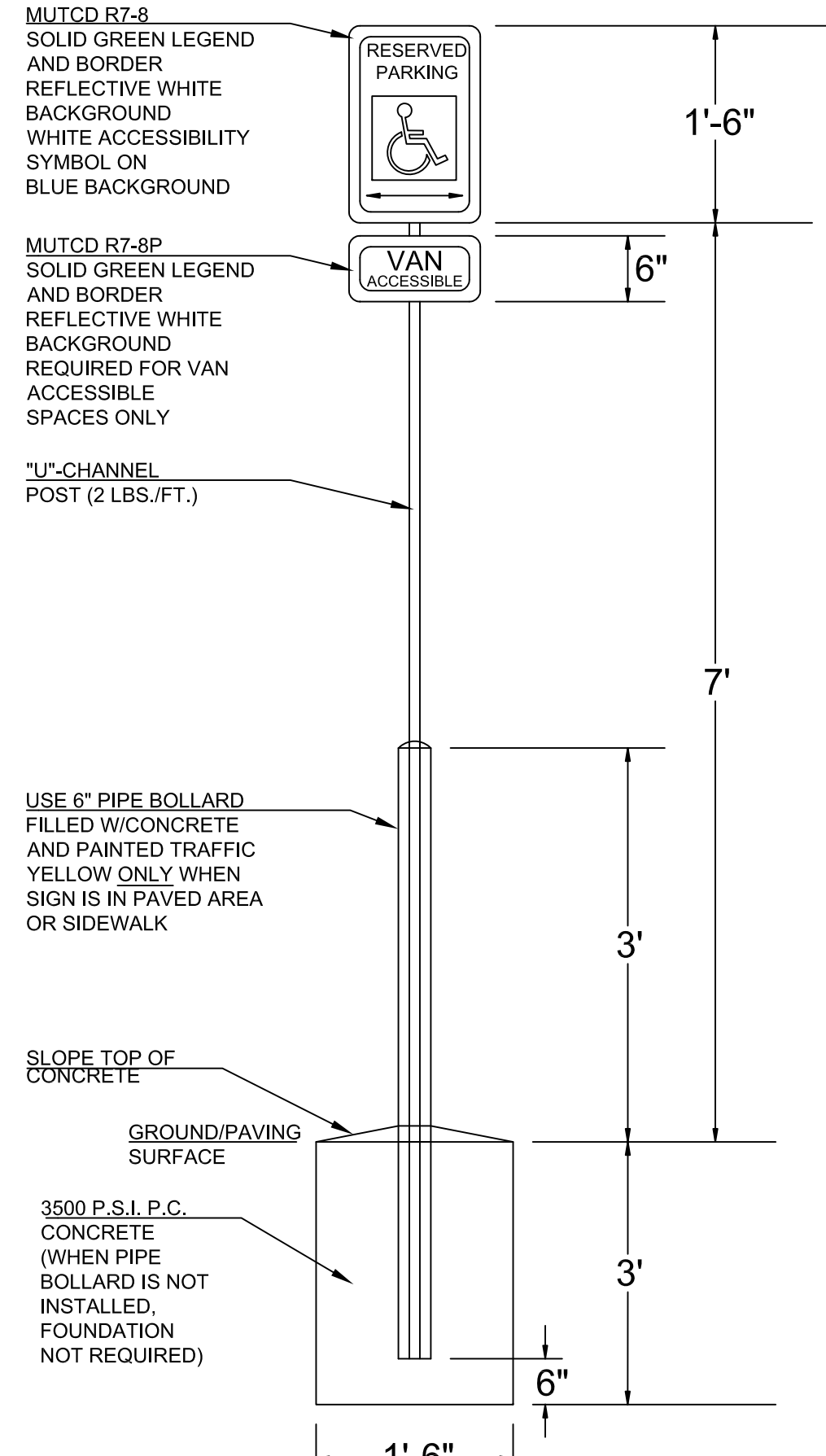
05 DETAIL - SIDEWALK SECTION AT BUILDING  
SCALE: NTS



SIDEWALK DETAIL

04 DETAIL - SIDEWALK SECTION  
SCALE: NTS

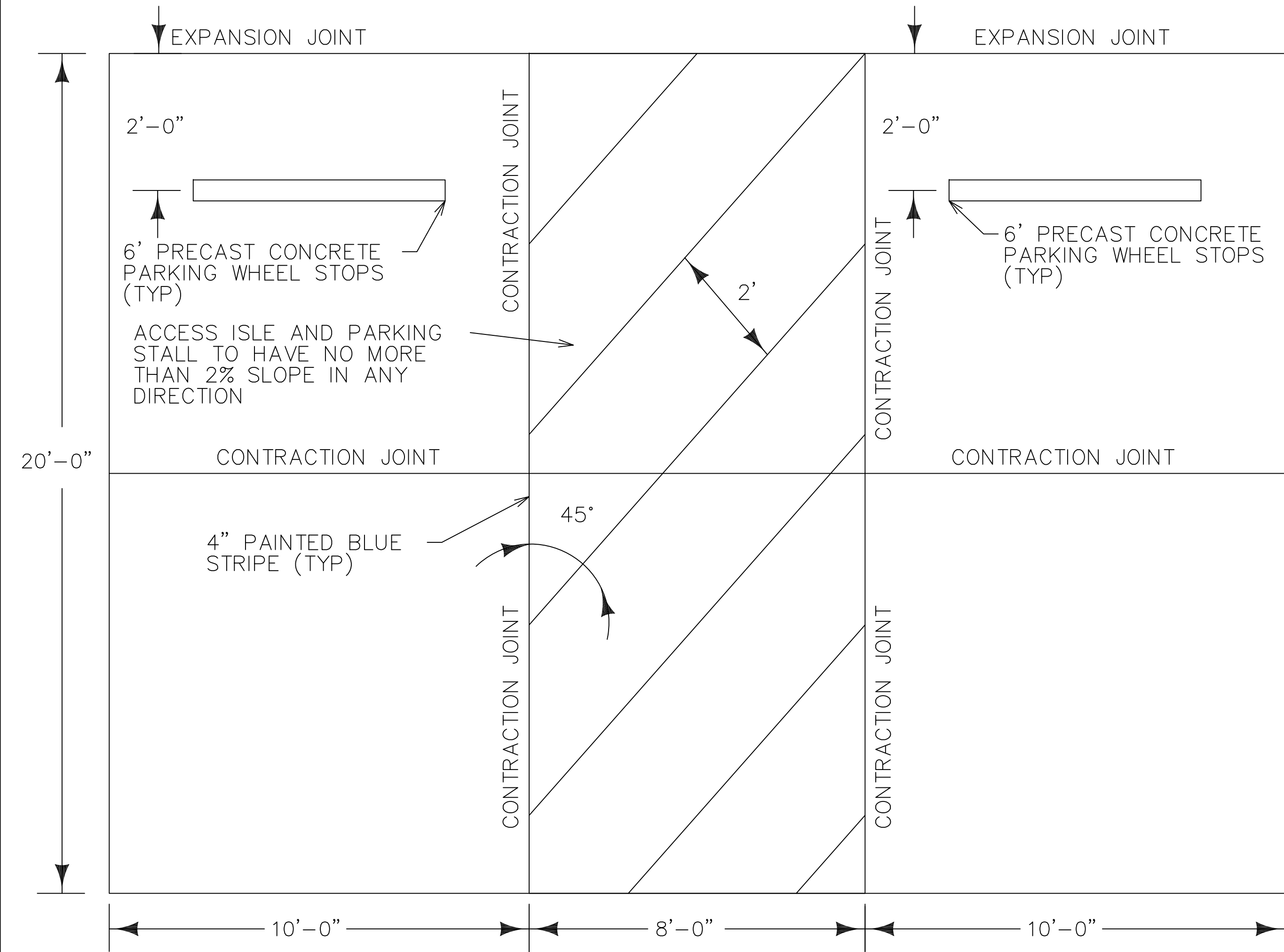
08 NOT USED  
SCALE: NTS



- NOTES
1. 12"x18" ACCESSIBILITY SIGN (R7-8) SHALL BE MOUNTED 7' FROM FINISH GRADE TO BOTTOM EDGE OF SIGN FACE. MOUNTING HEIGHT MAY BE REDUCED TO 5' IF PLACED IN A LANDSCAPE AREA IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
  2. BOLLARD MAY BE OMITTED IF INSTALLED IN LANDSCAPE AREAS. WHEN INSTALLED IN LANDSCAPE AREAS, MOUNTING POST SHALL BE DRIVEN A MINIMUM OF 3' BELOW FINISHED GRADE. ALTERNATE MOUNTING POSTS MUST BE APPROVED BY THE FIELD INSPECTOR PRIOR TO CONSTRUCTION.
  3. SIGNAGE SHALL BE INSTALLED IN FRONT OF EACH ACCESSIBLE SPACE, CENTERED ON THE WIDTH OF THE SPACE.
  4. REFER TO AMERICANS WITH DISABILITIES ACT AND ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES (ADAAG), LATEST EDITION, FOR REQUIRED NUMBER OF ACCESSIBLE SPACE. PER ADAAG, ONE VAN ACCESSIBLE SPACE SHALL BE PROVIDED, MINIMUM, WITH ADDITIONAL VAN ACCESSIBLE SPACES PER ADAAG REQUIREMENTS.
  5. ALL SIGNAGE SHALL BE ENGINEER GRADE 080 ALUMINUM REFLECTIVE SIGN MEETING THE REQUIREMENTS OF THE MUTCD AND ADAAG.

03 DETAIL - ADA SIGN REQUIREMENTS  
SCALE: NTS

02 NOT USED  
SCALE: NTS



01 DETAIL - ADA PARKING LAYOUT  
SCALE: NTS

GENERAL NOTES

- ALL ELECTRICAL SHALL BE NEC CODE COMPLIANT AND ALL CODES AND ORDINANCES SHALL BE FOLLOWED WHICH ARE REQUIRED BY LAW. ALL OUTLETS TO BE MOUNTED AT 42" A.F.F.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- PRECAST CONCRETE MODULAR BUILDING BY HUFFCUTT OR PRE-APPROVED EQUAL.
- ALL SANITARY AND WATER LINE WORK SHALL COMPLY WITH ALL APPLICABLE CODES AS NECESSARY BY LAW PER STATE AND LOCAL JURISDICTION.
- REMOVE ALL TREES WHICH CONFLICT WITH THE INSTALLATION OF THE NEW SHOWER/RESTROOM BUILDING. PROTECT ALL TREES IN PLACE WHICH MAY REMAIN.
- GRADE EXISTING SITE -6" BELOW CURRENT BUILDING ELEVATION FOR PROPER INSTALL OF PRECAST BUILDING. COORDINATE WITH DNR INSPECTOR AND PRECAST SHOWER BUILDING MANUFACTURER PRIOR TO PROJECT COMMENCEMENT.

IOWA DEPARTMENT OF  
NATURAL RESOURCES  
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DETAILS

RESTROOM BUILDING REPLACEMENTS FOR:  
HONEY CREEK STATE PARK

MORAVIA, IA 52571  
12194 HONEY CREEK PLACE

NO. BY DATE REVISION

DRAWN BY: PROJECT NUMBER:  
18-05-04-01

CHKD BY: DATE:  
11.27.2017

SHEET NO:

A-102