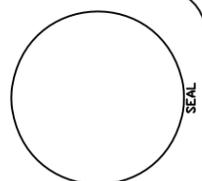


GENERAL NOTES

THE FOLLOWING GENERAL NOTES SHALL PERTAIN TO THE ENTIRE SET OF CONTRACT DOCUMENTS

1. A GENERAL CONTRACTOR SHALL NOTE THAT THE ARCHITECTURAL DRAWINGS ARE ESTABLISHING A MINIMUM MATERIAL OR CONSTRUCTION METHOD STANDARD. THE GENERAL CONTRACTOR SHALL PROVIDE A BID PRICE BASED ON THE SPECIFIC MATERIALS NOTED.
2. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
3. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM THEIR WORK IN ACCORDANCE WITH ALL APPLICABLE CODES GOVERNING EACH TRADE.
4. THE CONTRACTOR SHALL MAINTAIN A CLEAN AND ORGANIZED JOB SITE, ACCEPTABLE TO THE OWNER.
5. THE CONTRACTOR SHALL COORDINATE THE SEQUENCE OF WORK WITH THE OWNER REPRESENTATIVE.
6. THERE SHALL BE NO DEVIATION BY THE GENERAL CONTRACTOR FROM THE CONSTRUCTION DOCUMENTS UNLESS APPROVED IN WRITING BY THE ARCHITECT.
7. EACH CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO THE INITIATION OF WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS INTERFERING WITH THE ABILITY OF THE CONTRACTOR TO COMPLETE WORK AS OUTLINED ON THE CONSTRUCTION DRAWINGS.
8. ALL CONTRACTORS ARE REQUIRED TO COORDINATE THEIR WORK WITH OTHER TRADES. LACK OF THIS COORDINATION RESULTING IN ADDED COST TO THE CONTRACT WILL BE BORNE BY THE CONTRACTOR.
9. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE EXISTING BUILDING WATER TIGHT DURING CONSTRUCTION.
10. THE CONTRACTOR WILL VERIFY THAT EXIT EGRESS IS MAINTAINED FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT ALL PHASES OF CONSTRUCTION.
11. PLAN DIMENSIONS ARE GIVEN TO FACE OF STUD OR BLOCK WALL. "CLEAR" DIMENSIONS ARE GIVEN TO THE FACE
12. THE OWNER WILL ASSUME ALL LIABILITY AND SHALL TAKE PERSONAL RESPONSIBILITY FOR ANY DECISIONS THAT THEY MAKE TO CHANGE OR ALTER THE CONSTRUCTION DOCUMENTS WITHOUT THE ARCHITECT'S WRITTEN APPROVAL.
13. PROTECT ALL EXISTING FINISHES AND MATERIALS TO REMAIN, IN ACCORDANCE WITH ACCEPTABLE TRADE PRACTICES, MANUFACTURER, RECOMMENDATIONS, OR AS DIRECTED BY THE ARCHITECT.
14. CUTTING OF EXISTING CONSTRUCTION FOR THE INSTALLATION OF ALL NEW WORK BY ALL TRADES, AND THE SUBSEQUENT PATCHING THEREOF, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, WHETHER THE WORK IS DONE BY HIS OWN FORCES OR NOT. GRINDING OF MATERIALS FOR REMOVAL SHALL NOT BE PERMITTED. CUTTING SHALL BE TO STRAIGHT LINE. UNWORKMAN-LIKE CUTTING, DAMAGE RESULTING THEREFROM AND UNACCEPTABLE PATCHING SHALL BE REPAIRED AND/OR REPLACED TO AN ACCEPTABLE CONDITION APPROVED BY THE ARCHITECT. A OWNER PROJECT REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO CUTTING OF ANY STRUCTURAL ITEM (I.E. CONCRETE FLOOR, MASONRY, WALL, ETC.) WITHIN THE EXISTING BUILDING. METHOD OF CUTTING SHALL BE APPROVED BY THE OWNER PROJECT REPRESENTATIVE.
15. PATCHING MATERIAL SHALL MATCH EXISTING ADJACENT MATERIALS AS CLOSELY AS POSSIBLE IN COLOR, PATTERNS, AND/OR TEXTURES.
16. ALL SALVAGE MATERIALS REMOVED SHALL REMAIN THE PROPERTY OF THE OWNER. ALL NON-SALVAGE CONSTRUCTION MATERIALS AND DEBRIS FROM DEMOLITION WORK SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES, UNLESS OTHERWISE NOTED.
17. ISOLATE ALL DISSIMILAR METALS. G SHALL REQUEST APPROVAL BY THE ARCHITECT FOR MATERIALS USED FOR THIS PURPOSE, PRIOR TO INSTALLATION.
18. SEALANTS SHALL BE COMPATIBLE WITH ADJACENT SURFACE(S) THAT ARE IN CONTACT. REFER TO SPECIFICATIONS FOR APPROVED MANUFACTURERS AND PROCEDURES.
19. CAULK JOINTS OF DISSIMILAR EXPOSED TO VIEW MATERIALS AS REQUIRED BY THE ARCHITECT.
20. ALL DOOR HARDWARE TO BE ADA COMPLIANT.
21. ALL EXTERIOR WALLS, DOORS AND WINDOWS ARE EXISTING U.N.O.
22. ALL FINISHES TO BE PER CLASS INDICATED ON A-004
23. NO CONSTRUCTION SHALL OCCUR WITHOUT SHOP DRAWING APPROVAL. SHOP DRAWINGS TO BE PROVIDED TO ARCHITECT FOR REVIEW UPON BEING REVIEWED AND SIGNED/DATED BY THE GENERAL CONTRACTOR AND SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING ITEMS:

- CABINETS MILLWORK
- RUNNING TRIM AND CASING PROFILES
- PAINT/LAMINATE COLOR SAMPLES
- ACOUSTICAL CEILING AND GRID
- TOILET ACCESSORIES
- KITCHEN EQUIPMENT
- ROOF PENETRATIONS
- HVAC EQUIPMENT
- PLUMBING EQUIPMENT AND FIXTURES
- ELECTRICAL EQUIPMENT AND FIXTURES



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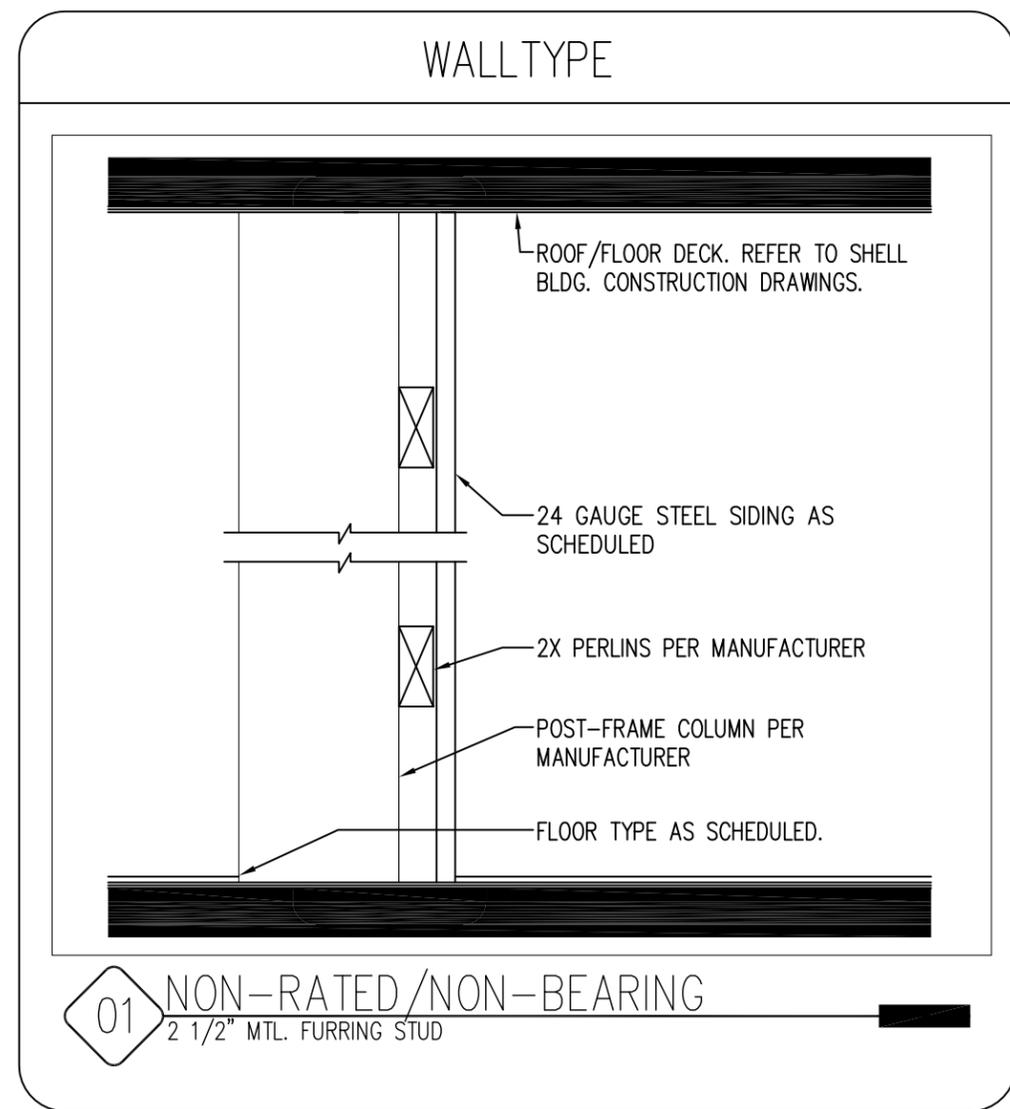


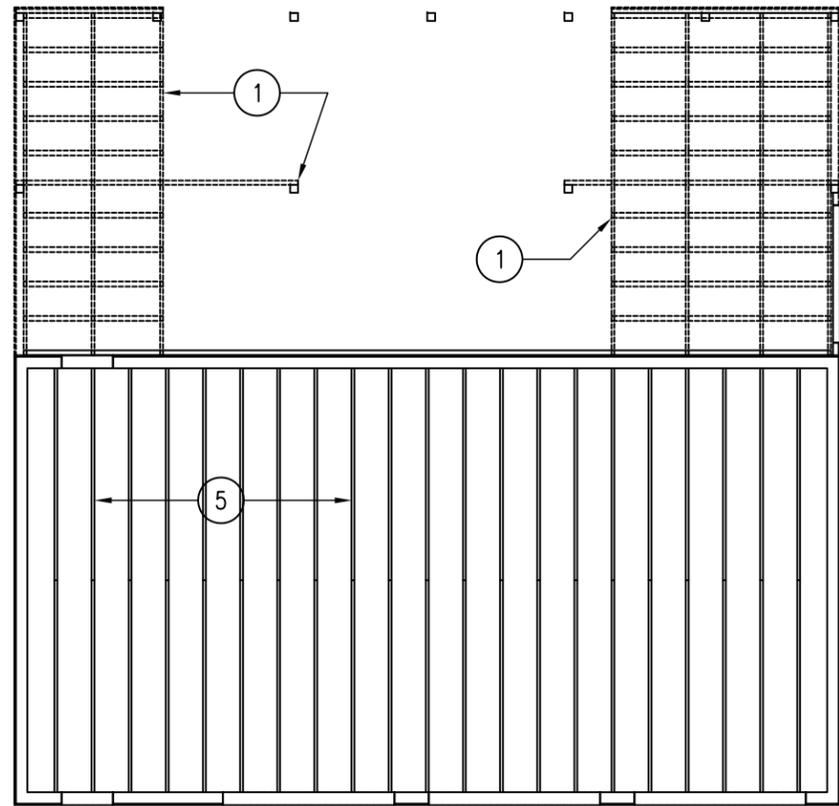
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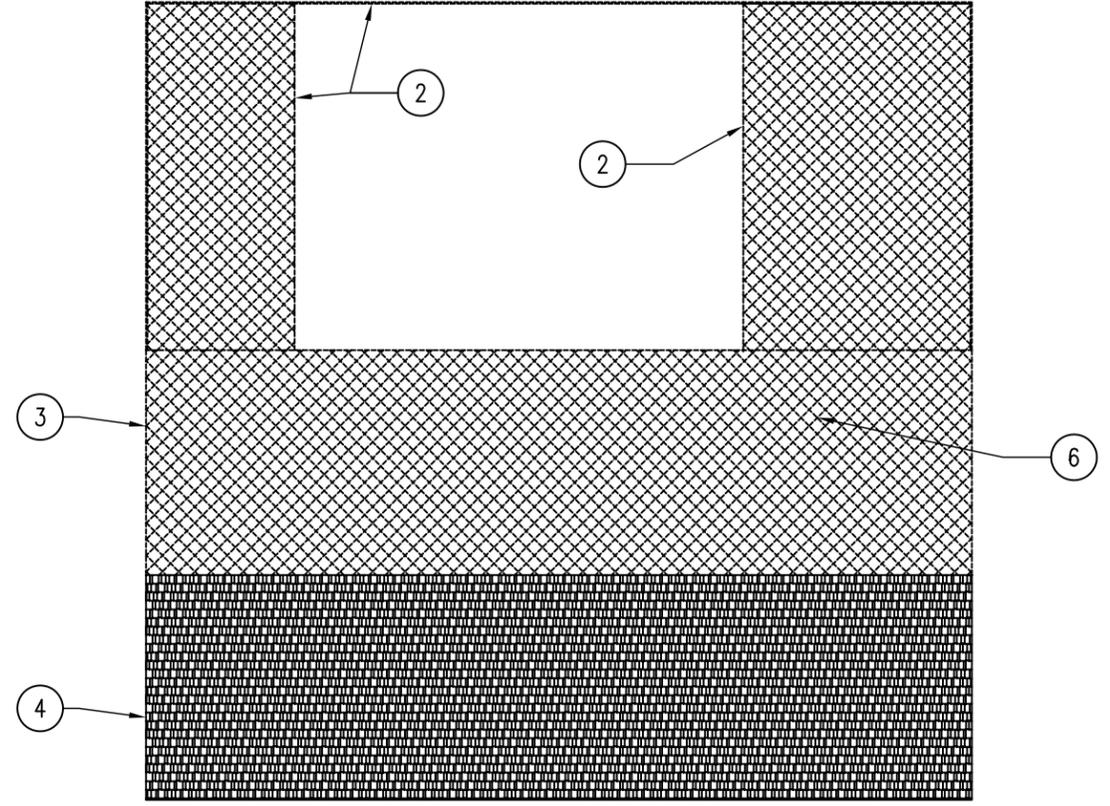
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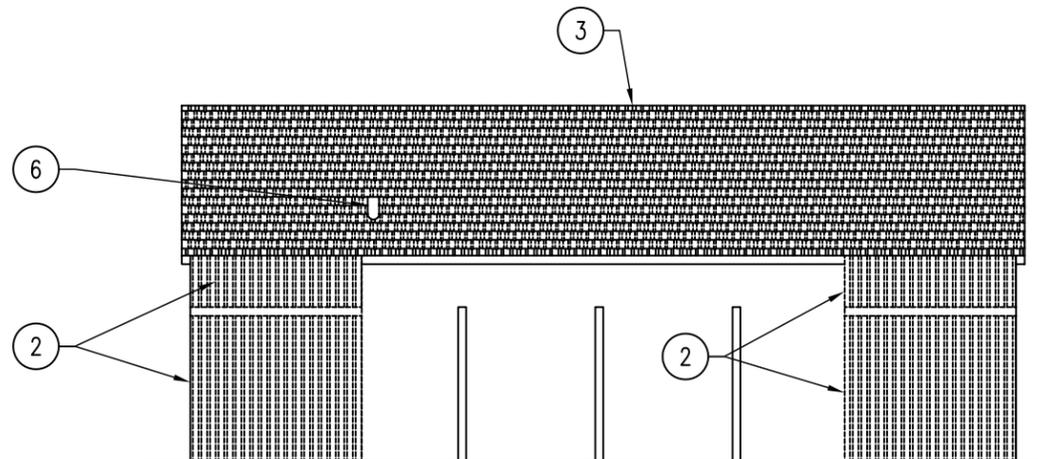




02 ENLARGED FLOOR PLAN
SCALE: 1" = 1'-0"



02 ENLARGED FLOOR PLAN
SCALE: 1" = 1'-0"



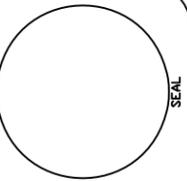
02 ENLARGED FLOOR PLAN
SCALE: 1" = 1'-0"

KEYNOTES

1. REMOVE ALL EXISTING RAFTERS, BEAMS AND PURLINS.
2. REMOVE EXISTING METAL SIDING AND ROOFING MATERIAL.
3. REMOVE FIBERGLASS SHINGLES AND PLYWOOD DECKING.
4. EXISTING ROOF TO REMAIN.
5. REPAIR BROKEN TRUSSES IN AREA OF IMPACT.
6. PROTECT EXISTING ROOF PENETRATION.

GENERAL NOTES

A. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.



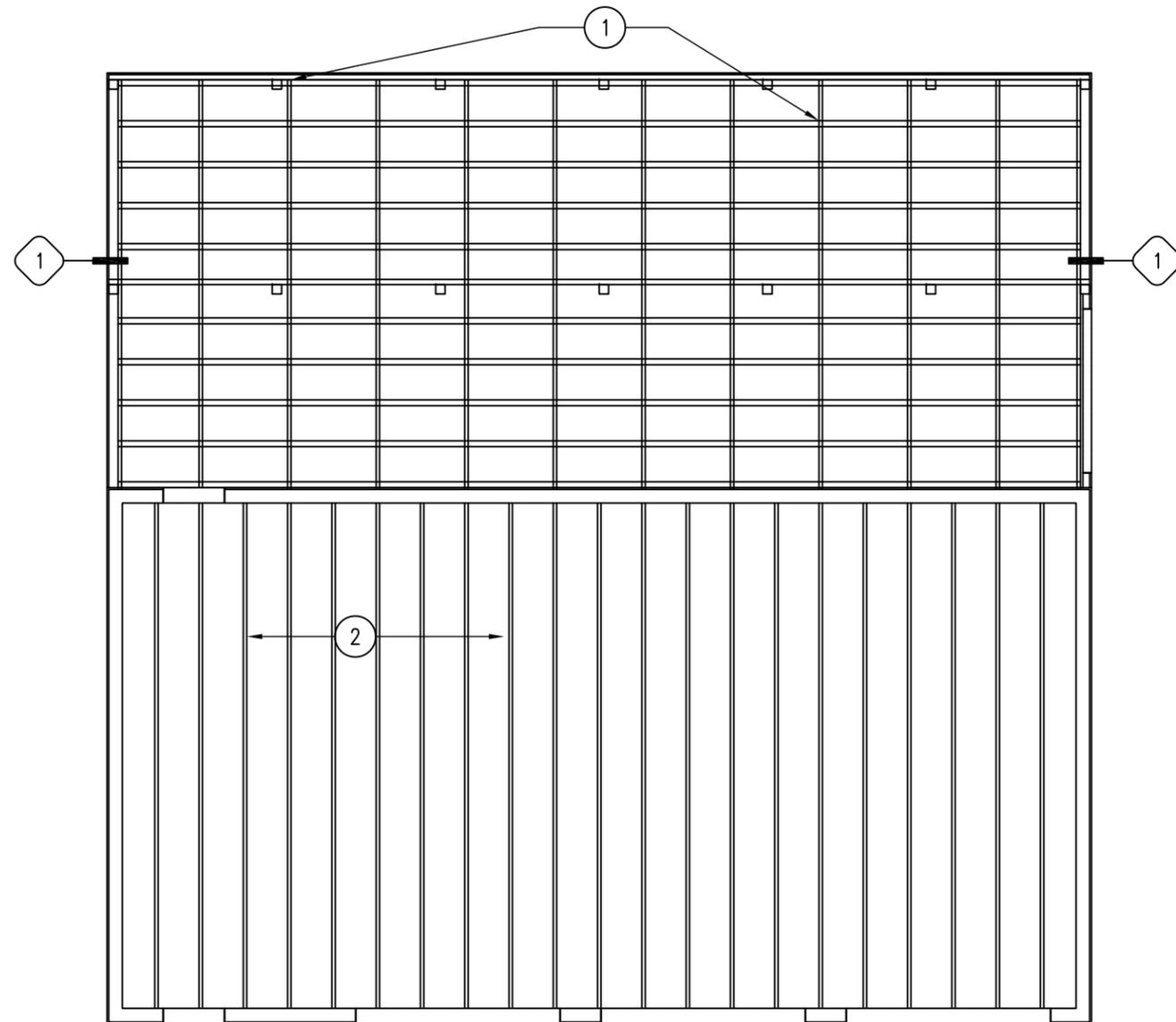
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A-010



01 STRUCTURAL DIAGRAM – DEMONSTRATIVE ONLY
SCALE: 1/8" = 1'-0"

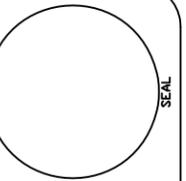
02 NOT USED
SCALE: 1" = 1'-0"

KEYNOTES

1. NEW PURLINS, BEAMS AND RAFTERS TO ACCEPT NEW METAL ROOFING.
2. REPAIRED TRUSSES TO ACCEPT NEW PLYWOOD DECKING AND SHINGLES.

GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- B. THIS PURLIN AND RAFTER PLAN IS FOR DEMONSTRATION PURPOSES ONLY, CONTRACTOR MUST HAVE A PROFESSIONAL ENGINEER SIGN AND SEAL THE FINAL LAYOUT FOR THE COLD STORAGE BAY PRIOR TO COMMENCEMENT OF CONSTRUCTION.



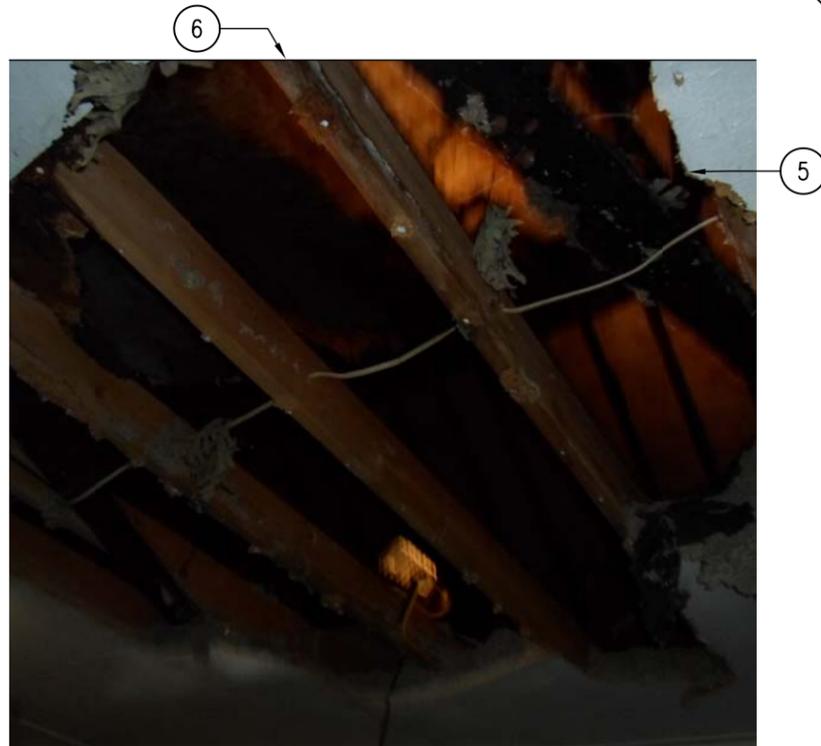
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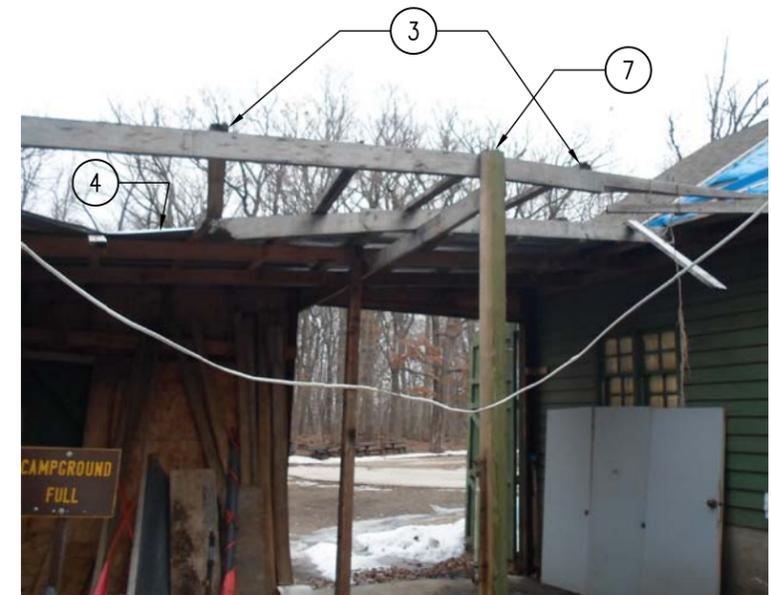
A-100



01 DETAIL PHOTO
SCALE: NTS



02 DETAIL PHOTO
SCALE: NTS



03 DETAIL PHOTO
SCALE: NTS



04 DETAIL PHOTO
SCALE: NTS



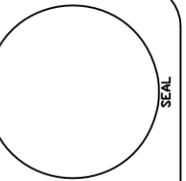
05 PHOTO DETAIL
SCALE: NTS

KEYNOTES

1. REMOVE EXISTING ROOFING & SHEATHING, REPAIR EXISTING DAMAGED TRUSSES AND INSTALL NEW 3/4" PLYWOOD SHEATHING AND NEW CERTAINTED LANDMARK TL WEATHERED WOOD SHINGLES.
2. PROTECT AND MAINTAIN EXISTING ELECTRICAL IN COLD STORAGE AREA.
3. REMOVE EXISTING BEAMS, RAFTERS AND PURLINS ON COLD STORAGE AREA AND REPLACE WITH NEW BEAMS, RAFTERS AND PURLINS FOR NEW ROOFING AND SIDING.
4. REMOVE EXISTING SIDING AND ROOFING FROM ENTIRE COLD STORAGE AREA AND REPLACE WITH 26 GAUGE VERTICAL SEAM STEEL (ROOFING) AND 29 GAUGE CLASSIC RIB (WALL) FROM METAL SALES MANUFACTURING COMPANY.
5. REMOVE EXISTING INSULATION IN DAMAGED AREAS AND REPLACE WITH LIKE INSULATION.
6. REMOVE EXISTING DRYWALL AND/OR PLYWOOD CEILING MATERIAL AND REPLACE WITH LIKE MATERIAL, PAINT TO MATCH EXISTING.
7. MAINTAIN EXISTING STRUCTURAL POLES AND DOORS WHERE POSSIBLE FOR FUTURE USE, SHORE-UP EXISTING POLES FOR NEW APPLICATION OF ROOFING AND SIDING.

GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- B. REMOVE EXISTING TRIM AROUND FRONT DOOR AND OVERHEAD DOORS, REPLACE WITH CERTAINTED FIBERMAX CEDAR TRIM, PAINT TO MATCH EXISTING TRIM.



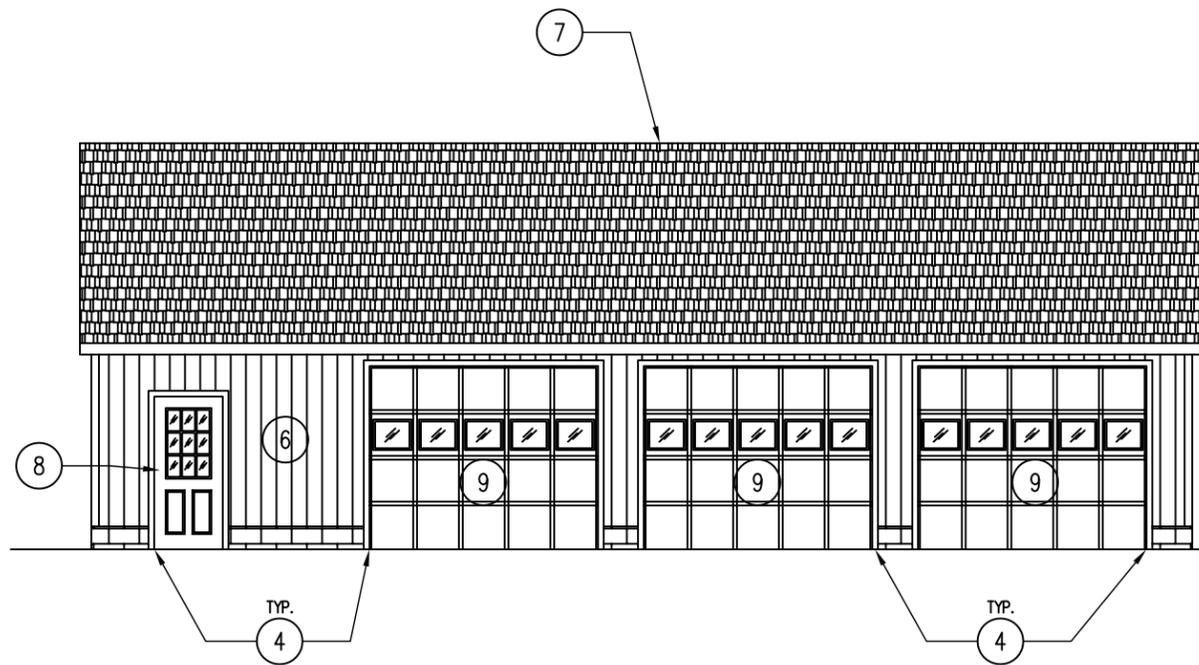
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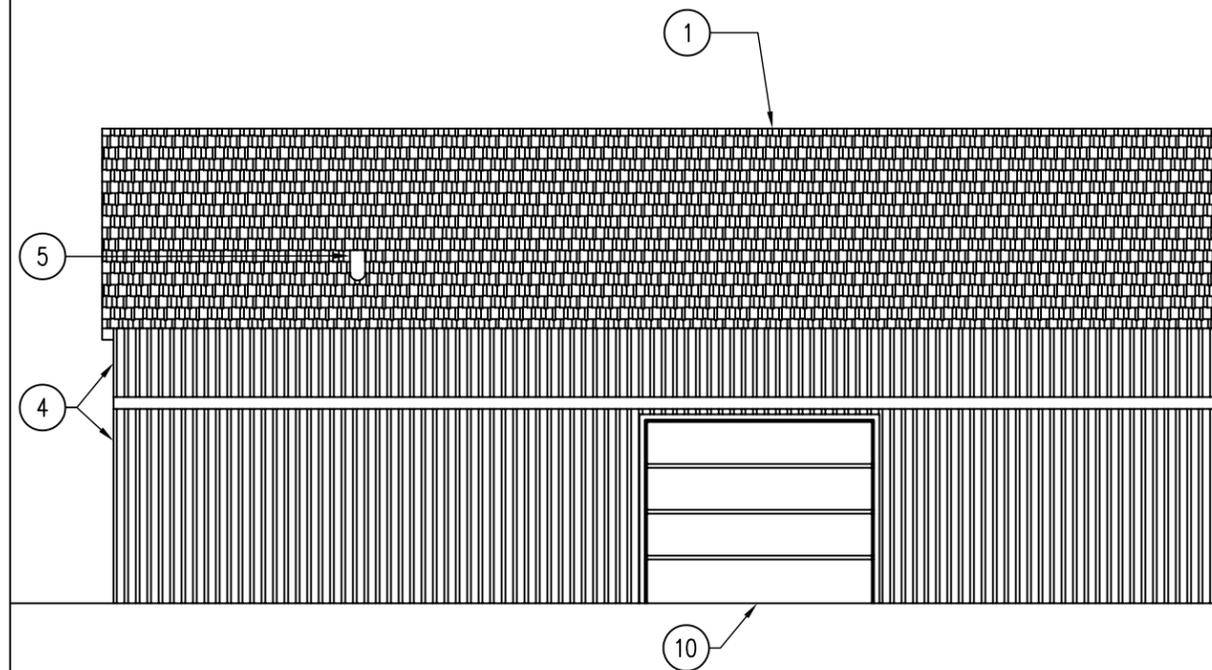
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A-101



03 BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



02 BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

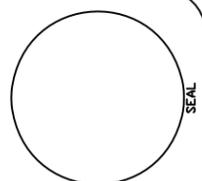
01 NOT USED
SCALE: 1" = 1'-0"

KEYNOTES

1. NEW 3/4" PLYWOOD SHEATHING WITH 30LB FELT, WATER & ICE 24" FROM EAVES & RIDGE, AND CERTAINTEED LANDMARK TL WEATHERED WOOD SHINGLES.
2. REMOVE EXISTING TRIM AROUND FRONT DOOR AND OVERHEAD DOORS, REPLACE WITH CERTAINTEED FIBERMAX CEDAR TRIM, PAINT TO MATCH EXISTING TRIM.
3. NOT USED.
4. NEW 26 GAUGE VERTICAL SEAM STEEL (ROOFING) AND 29 GAUGE CLASSIC RIB (WALL) FROM METAL SALES MANUFACTURING COMPANY, ON COLD STORAGE BUILDING, MATCH EXISTING ROOF SLOPE.
5. EXISTING ROOF PENETRATION TO REMAIN.
6. EXISTING SIDING TO REMAIN.
7. EXISTING SHINGLE ROOFING TO REMAIN.
8. EXISTING DOOR TO REMAIN.
9. EXISTING OVERHEAD DOOR TO REMAIN.
10. NEW C.H.I. OVERHEAD (NON-INSULATED 3250, 25-GAUGE, NO SAFETY-LIGHT) DOOR, 8'-0" TALL X 10'-0" WIDE.

GENERAL NOTES

- A. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.



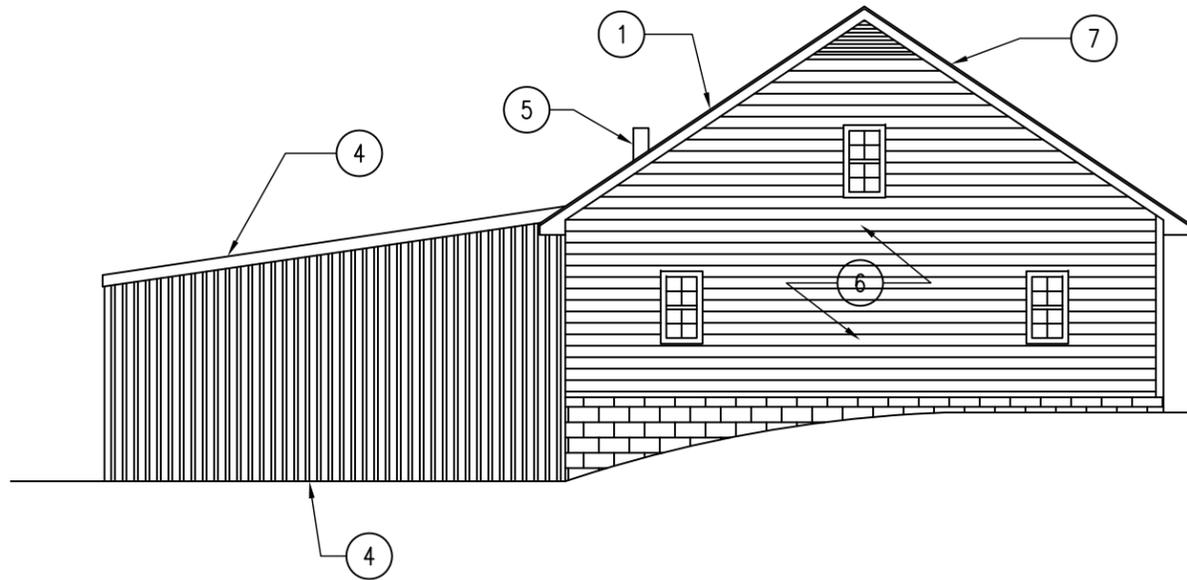
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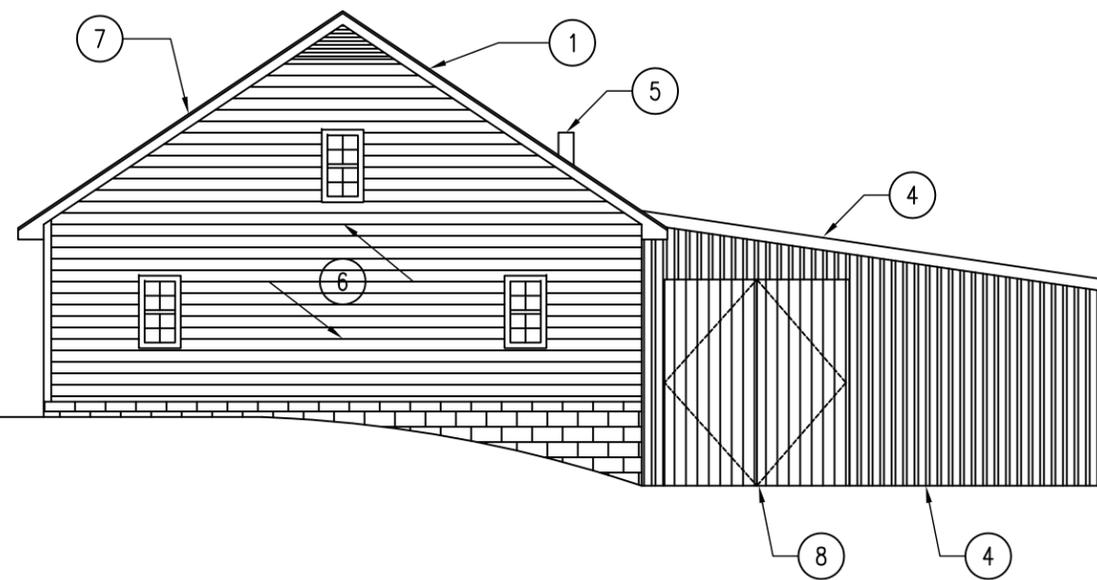
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A-200



03 BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



02 BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

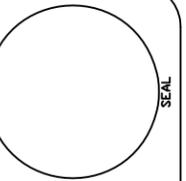
KEYNOTES

1. NEW 3/4" PLYWOOD SHEATHING WITH 30LB FELT, WATER & ICE 24" FROM EAVES & RIDGE, AND CERTAINTEED LANDMARK TL WEATHERED WOOD SHINGLES.
2. REMOVE EXISTING TRIM AROUND FRONT DOOR AND OVERHEAD DOORS, REPLACE WITH CERTAINTEED FIBERMAX CEDAR TRIM, PAINT TO MATCH EXISTING TRIM.
3. NOT USED.
4. NEW 26 GAUGE VERTICAL SEAM STEEL (ROOFING) AND 29 GAUGE CLASSIC RIB (WALL) FROM METAL SALES MANUFACTURING COMPANY, ON COLD STORAGE BUILDING, MATCH EXISTING ROOF SLOPE.
5. EXISTING ROOF PENETRATION TO REMAIN.
6. EXISTING SIDING TO REMAIN.
7. EXISTING SHINGLE ROOFING TO REMAIN.
8. EXISTING DOOR TO REMAIN.
9. EXISTING OVERHEAD DOOR TO REMAIN.

GENERAL NOTES

A. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

01 NOT USED
SCALE: 1" = 1'-0"



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