

MEMO

TO: MICK LEAT

FROM: DAVID WORNSON

DATE: MAY 5, 2004

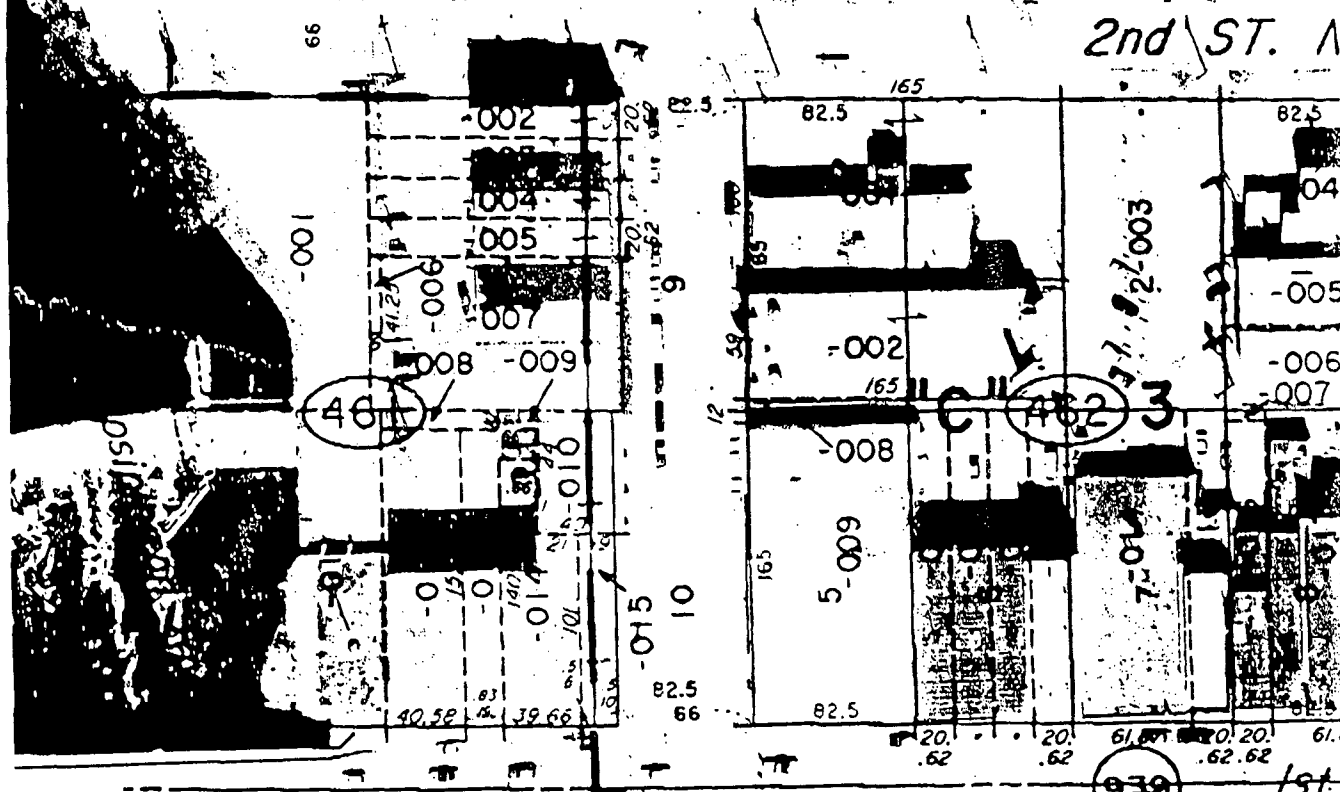
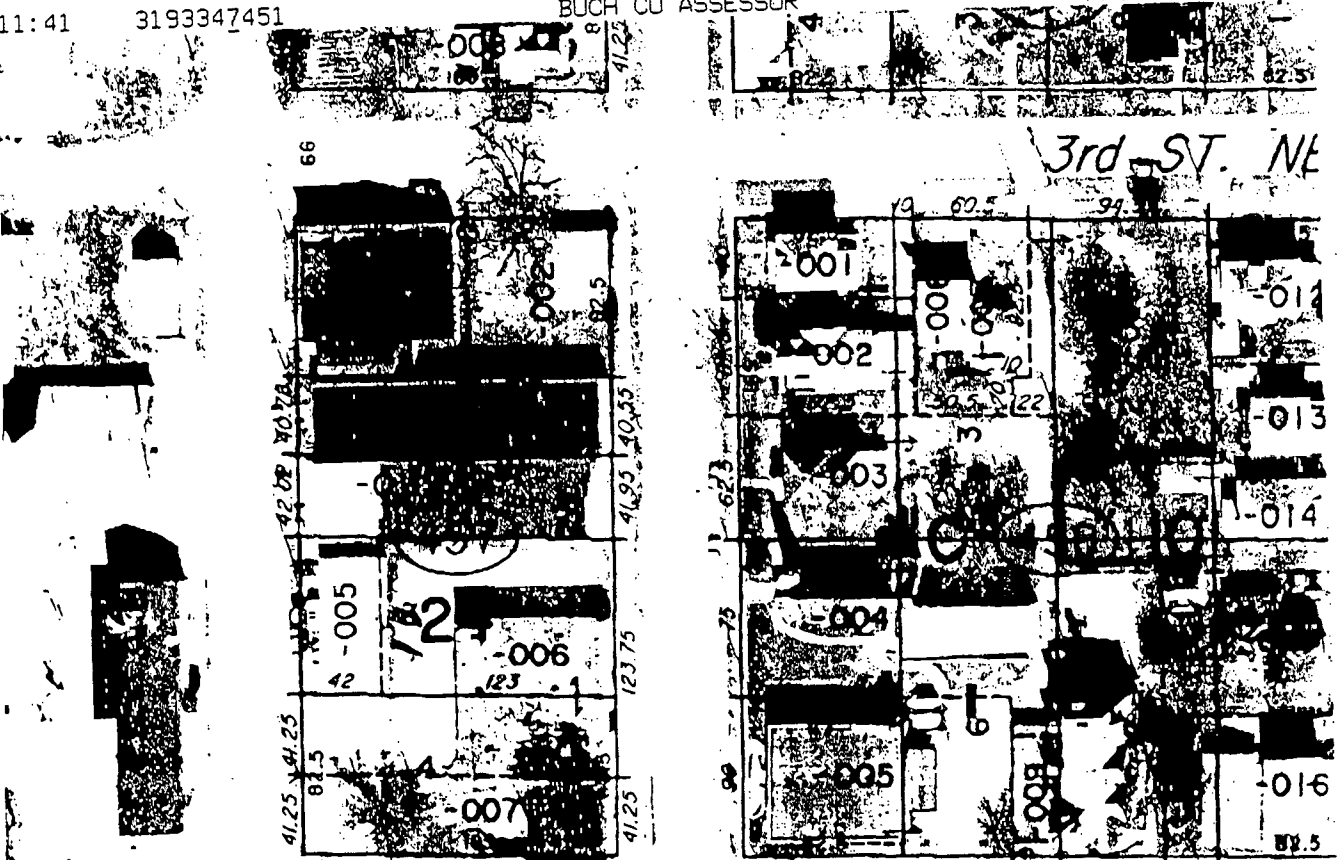
RE: REVIEW OF EASEMENT, MIDAMERICAN ENERGY MGP, INDEPENDENCE

I have reviewed the easement and the supporting documentation and find it acceptable. The only question I have is that it is difficult to trace the actual boundaries of the legally described property by what they have submitted. They attached a plat map but did not trace the boundaries of the City of Independence site. Normally, I request that they certify and depict the boundaries of the legally described parcel.

Do you have some site maps which we could use to identify the site and compare it to the plat map. The restrictions are to maintain as residential and no "water wells". I will leave it to you to determine if the restrictions only need apply to this parcel and not any offsite areas of concern.

Please review and when we are satisfied, I can recommend the Director sign it.

DOC ILLEGIBLE



LCOMPAN
GHT 2002

00'

3

WASHING

W. 1/2 S.E. 1/4 SEC

DATE 2/23/04 15:02

BUCHANAN COUNTY REAL ESTATE TRIAL BALANCE

PAGE 1

DIST	PARCEL NUMBER	NAME	CLASS	LAND	BUILDINGS	DWELLINGS	TOTAL VALUE	BLD	UNT	DWL	ACRES	CSR'S	MILIT
EXEMPT		CODE-VALUE-ACRES											
ININ	0634461001	INDEPENDENCE, CITY OF		0	0	0	0*						
	85												
ININ	0634461002	*JONES, DR HERBERT C & C		5,495	34,280	0	39,775*	1	1				
ININ	0634461003	WHITE, MARK A & JOHN C C		5,495	35,996	0	41,393*	1	1				
UNIN	0634461004	ARMSTRONG, ROBERT S & C		5,495	25,569	0	31,064*	1	1				1852
													4850
ININ	0634461005	HUTCHENS, GEORGE T II C		5,495	22,021	0	27,516*	1	1				
ININ	0634461006	INDEPENDENCE, CITY OF		0	0	0	0*						
	85												
ININ	0634461007	LIVING WATER CHURCH OF C		0	0	0	0*						
	11	52,539											
ININ	0634461008	*GREENLEY DEVELOPMENT C C		320	0	0	320*						
ININ	0634461010	*GREENLEY DEVELOPMENT C C		5,083	31,225	0	39,308*	1	1				
ININ	0634461011	INDEPENDENCE, CITY OF		0	0	0	0*						
	95												
ININ	0634461012	GREENLEY, LECNA R C		11,364	38,254	0	49,618*	1	1				
ININ	0634461013	GREENLEY DEVELOPMENT C C		5,548	24,516	0	30,064*	1	1				
ININ	0634461014	*GREENLEY DEVELOPMENT C C		10,444	39,380	0	49,824*	1	1				
ININ	0634461015	*GREENLEY DEVELOPMENT C C		4,615	24,942	0	29,557*	1	1				
GRAND TOTAL R.E.				62,354	276,055	0	338,439*	9	9		.00		1,952
								9	0				4,850
													.00
TOTAL PARCELS				14	TOTAL EXEMPT VALUE		92,538	EXEMPT ACRES			.00		

Buchanan County Abstract Company

113 FIRST STREET EAST

PHONE (319) 334-3669

INDEPENDENCE, IOWA 50644

March 15, 2004

Kevin Armstrong
MWH
11153 Aurora Avenue
Des Moines, IA 50322

RECEIVED

MAR 16 2004

MW / IOWA

Dear Kevin,

Enclosed you will find a Deed to the City of Independence, from Interstate Power Company to the City of Independence, (this deed contains other land). I would like to point out to you all of the flowage rights. I cannot find any other easements recorded on this property, nor any current mortgages. Tax ID on this parcel of land is 0634461001 with \$0.00 taxes being assessed.

If we can be of further assistance to you, please contact us.

Buchanan County Abstract Company



Kelly Kane

day and year last above written.

William W. Gilkey
Notary Public in and for
Delaware County, State of Iowa

(S E A L)

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C E M E T E R Y W A R R A N T Y D E E D

Wilson Cemetery

#4566

Filed May 29, 1958 @ 2:34 P.M.

to

Earl Alderman

Fee \$1.00

Roger H. Willey, Recorder

KNOW ALL MEN BY THESE PRESENTS:

That WILSON CEMETERY, a Corporation of Buchanan County, State of Iowa, in consideration of Fifty Dollars, paid by Earl Alderman of Blackhawk County, State of Iowa, does hereby sell and convey unto the said Earl Alderman and to His heirs and assigns

The North $\frac{1}{2}$ of Lot 24, Block 2, 4th Addition

in Wilson Cemetery, situated in Buchanan County and State of Iowa.

This conveyance is made on condition that the grade of said lot shall not be raised above that of surrounding lots without written consent of the Trustees of the Cemetery, and all opening and closing of graves to be under supervision of the Caretaker of said Cemetery.

Receipt is hereby acknowledged for perpetual care in the amount of \$ Fifty covering above described lot.

To have and to hold the same to the said Earl Alderman and to His heirs and assigns and said Corporation does hereby covenant with said Earl Alderman that it is lawfully seized of said premises, that they are free from incumbrance, and that its Trustees have full authority to sell said premises, and to make this conveyance.

Dated May 22, 1958.

By Harold Wehrspann Trustee
By Carl E. Hermann Trustee
By N. C. Madison Trustee

State of Iowa,)
) SS.
Buchanan County)

On this 23 day of May, 1958, before me, a Notary Public in and for said County, personally came Harold Wehrspann, Carl E. Hermann, N. C. Madison Trustees of Wilson Cemetery, to me personally known to be the identical persons named in and who executed and whose names are affixed to the foregoing deed as grantors therein and Trustees of Wilson Cemetery and acknowledged the execution of the same to be their voluntary act and deed of Wilson Cemetery by each of them as Trustees of said Cemetery, voluntary executed.

Witness my hand and seal.

E. A. Madill
Notary Public

(S E A L)

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Q U I T C L A I M D E E D

Interstate Power Company

#4456

Filed May 28, 1958 @ 8:44 A.M.

to

City of Independence

Fee \$5.60

Roger H. Willey, Recorder

Q U I T C L A I M D E E D

For the consideration of One Thousand and no/100 (\$1,000.00) Dollars, INTERSTATE POWER COMPANY, a Delaware corporation with offices at Dubuque, Iowa, hereby quit claims to CITY OF INDEPENDENCE, IOWA, a municipal corporation in Buchanan County, State of Iowa

303-292

all its right, title, and interest in and to the following described real estate and flowage rights:

Beginning at a point on the south line of Second Street N.E, that is a distance of 240.2 feet west of the center line of Second Ave., N.E.; thence south a distance of 64.7 feet; thence south 36 degrees and 2 minutes east a distance of 41.7 feet; thence southerly around a 52.3 foot radius curve which is tangent with the last described course and which has a central angle of 36 degrees and 2 minutes, a distance of 32.9 feet; thence south on a tangent with the last described course a distance of 23.4 feet, thence east a distance of 37 feet to the west line of the Alley which lies between Second Avenue N.E. and the Wapsipinicon River and which extends south from Second Street N.E.; thence south 12 feet along the west line of said Alley; thence west 46.17 feet to a point that is 214.5 feet west of the center line of Second Avenue N.E. and 165 feet south of the south line of Second Street N.E.; thence south along a line that is parallel to the center line of Second Avenue N.E., a distance of 165 feet; thence west across the Wapsipinicon River a distance of 277.3 feet; thence north to a point which is described as follows:

Beginning at the intersection of the north line of Main Street and the east line of an unnamed public street as recorded in Book 190 Lot Deeds, Page 139 of Buchanan County; thence north along the east line of said unnamed street a distance of 120.4 feet; thence east on an angle of 90 degrees and 5 minutes with the last described course a distance of 115.3 feet; thence from the last described point west to a point on the east line of said unnamed street a distance of 115.3 feet which point is 120.4 feet north of the north line of Main Street, thence north along the east line of said unnamed street, and an extension thereof, a distance of 143.6 feet to the south line of Second Street N.W.; thence east along the south line of Second Street N.W., to the Wapsipinicon River a distance of 23.7 feet; thence northwesterly along the west bank of said river a distance of 67.4 feet to the south line of Second Street N.E. extended; thence east along said south line of Second Street N. E. extended to the point of beginning, all in Buchanan County, Iowa.

U. S. Rev. #1.10 Cancelled 5-9-58 I.P. Co. C.W.L.
 Located on the southwestern portion of the above premises is an old Hydro Building, more commonly known as the Wapsipinicon Mill. The only part of said building being conveyed by this Quit Claim Deed is as follows:

"That part of the northeast corner of the Wapsipinicon Mill building which includes the north 29,1/2 feet by 60 feet, extending from the base of the building walls up to but not including one floor above first floor level," and any other portion of said building located on above described real estate is excepted and excluded from this conveyance.

The grantor hereby conveys to grantee all of the above described property with all rights and appurtenances thereunto belonging, including mills, mill dam, mill right, water power easements and rights of flowage, said rights of flowage having been originally granted to Northeastern Iowa Power Company and by it conveyed to Central States Power and Light Corporation by instrument dated February 24, 1928, and recorded on March 3, 1928, in Book 222 Lands, Pages 191 to 208, inclusive, in the Recorder's office of Buchanan County, Iowa, and by it conveyed to Interstate Power Company, a Delaware corporation, by instrument dated November 15, 1944, and recorded on the same date in the office of the Buchanan County Recorder in Book 264 Lands.

Page 471, said flowage rights being more particularly described as follows:

(A) Overflow rights up to the 101 foot contour (top of dam taken as 100 feet) over the SW 1/4 of the SW 1/4 and the SE 1/4 of the SW 1/4 south of the river in Section 28; the NE 1/4 of the NW 1/4 and the NW 1/4 of the NW 1/4 of Section 33, all in Township 89 North, Range 9 West of the 5th P.M. The above rights were acquired by the Northeastern Iowa Power Co., from Nora Baggot and Mary Baggot, by flowage deed dated August 2, 1927, as recorded August 2, 1927, in Book 222, page 82 of the Buchanan County deed records.

(B) Overflow rights up to the 101 foot contour over the W 1/2 of the SW 1/4 of Section 29, Township 89 North, Range 9 West of the 5th P.M.

The above rights were acquired by the Northeastern Iowa Power Co., from George Gissel and his wife, Bertha Gissel, by flowage deed dated November 9, 1927, as recorded November 10, 1927, in Book 222, page 113 of the Buchanan County deed records.

(C) Overflow rights up to the 101 foot contour over that part of the SW 1/4 and the NE 1/4 of the SE 1/4 south of the road, also the North 10 rods of the south 20 acres of the SW 1/4 of the NE 1/4, all in Section 19, Township 89 North, Range 9 West of the 5th P.M., Also that part of the NE 1/4 of the SE 1/4 south of the road and the SE 1/4 of the SW 1/4, all in Section 20, Township 89 North, Range 9 West of the 5th P.M.

The above rights were acquired by the Northeastern Iowa Power Co., from W.H. Gissel and his wife, Emma J. Gissel, by flowage deed dated October 27, 1926, as recorded February 25, 1927, in Book 222, page 28 of the Buchanan County deed records.

(D) Overflow rights up to the 101 foot contour over the S 1/2 of the SE 1/4 of Section 28, Township 89 North, Range 9 West of the 5th P.M. Also a right of way 2 rods wide on the east side of the NE 1/4 of the SW 1/4 of Section 33, Township 89 North, Range 9 West of the 5th P.M.

The above rights were acquired by the Northeastern Iowa Power Co., from R.B. Raines and his wife, Cora B. Raines, by flowage deed dated October 23, 1926, as recorded February 25, 1927, in Book 222, page 31 of the Buchanan County deed records.

(E) Overflow rights up to the 101 foot contour over the NE 1/4 of the SE 1/4; the E 1/4 of the NW 1/4 of the SE 1/4 of Section 28, Township 89 North, Range 9 West of the 5th P.M. Also that portion of the NE 1/4 of the NW 1/4 of Section 34, Township 89 North, Range 9 West of the 5th P.M., lying outside of the town of Independence, Iowa, and the cemetery.

The above rights were acquired by the Northeastern Iowa Power Co., from Thomas J. Ahearn and L. B. Young by flowage deed dated October 22, 1926, as recorded February 25, 1927, in Book 222, page 31 of the Buchanan County deed records.

(F) Overflow rights up to the 101 foot contour over the N 1/2 of the SW 1/4 of the SW 1/4 of Section 27, Township 89 North, Range 9 West of the 5th P.M., except the railroad right of way.

The above rights were acquired by the Northeastern Iowa Power Co., from Jessie D. Hayes et al, by flowage deed dated June 18, 1926, as recorded February 25, 1927, in Book 222, page 32 of the Buchanan County deed records.

(G) Overflow rights up to the 101 foot contour over the S 1/2 of the SE 1/4 of Section 29, Township 89 North, Range 9 West of the 5th P.M., south of the river.

The above rights were acquired by the Northeastern Iowa Power Co., from the Wapsipinicon Golf Club by flowage deed dated October 23, 1926, as recorded February 25, 1927, in Book 222, page 29 of the Buchanan County deed records.

(H) Overflow rights up to the 101 foot contour over the W 3/4 of the NW 1/4 of the SE 1/4 of Section 28, Township 89 North, Range 9 West of the 5th P.M. The above rights were acquired by the Northeastern Iowa Power Co., from Mathew Geiser and his wife, Anna Geiser, by flowage deed dated October 23, 1926, as recorded February 25, 1927, in Book 222, page 30 of the Buchanan County deed records.

(I) Overflow rights up to the 101 foot contour over the NE 1/4 of the SE 1/4; the E 1/2 of the NE 1/4 and the East 13 acres of the W 1/2 of the NE 1/4, all in Section 29, Township 89 North, Range 9 West of the 5th P.M.

The above rights were acquired by the Northeastern Iowa Power Co., from Dan Gleason and his wife, Gertrude Gleason, by flowage deed dated November 17, 1926, as recorded February 25, 1927, in Book 222, page 33 of the Buchanan County deed records.

(J) Overflow rights up to the 101 foot contour over the S 1/2 of the SW 1/4 of the SW 1/4, and the W 1/2 of the SW 1/4 of the SE 1/4 of Section 27, Township 89 North, Range 9 West of the 5th P.M.

The above rights were acquired by the Northeastern Iowa Power Co., from the Commercial State Bank, by flowage deed dated October 26, 1927, as recorded February 27, 1927, in Book 222, page 27 of the Buchanan County Deed records.

(K) Overflow rights up to the 101 foot contour over the SE 1/4 of the NE 1/4 except 5 acres south of the river of Section 30; the NW 1/4 of the SE 1/4, the west 9 acres north of the river in the SW 1/4 of the SE 1/4, the west 67 acres of the NE 1/4, the NE 1/4 of the SE 1/4, and the SE 1/4 of SE 1/4 north of the river, all in Section 29; also the S 1/2 of the SW 1/4 north of the river in Section 28, Township 89 North, Range 9 West of the 5th P.M.

The above rights were acquired by the Northeastern Iowa Power Co., from Carrie E. Ferman, by flowage deed dated August 3, 1927, as recorded August 17, 1927, in Book 222, page 86 of the Buchanan County deed records.

(L) Overflow rights up to the 101 foot contour over lot one (1) of block twenty-three (23), Lots two (2), three (3), and the south one (1) rod of lot one (1), block 22; lots 1, 2, 3, 4, 5, and 6 of Block 21, all in Stoughton and McClure's Addition to Independence, Iowa; lots 6, 7, 8, 9, and 10 of Block 6, lots 7, 8, 9, and 10 of block 9, Bull's Addition to Independence, Iowa, lots 1, 13, and all but the south one (1) rod of lot 2 of block 1 and all of block 2, Herrick's Addition to Independence; also a tract of land commencing 2 rods west of the southwest corner of block 37, Union Addition, thence south 10 rods, thence west to the center of the Wapsipinicon River, thence northeasterly along the center line of the river to the south line of the Illinois Central Railroad right of way, thence east along the right of way to a point 2 rods west of the northwest corner of said block 37, Union Addition, thence south to the point of beginning, all being in the City of Independence, Iowa.

IOWA DEED RECORD, NO. 303, BUCHANAN COUNTY, IOWA

The above rights were acquired by the Northeastern Iowa Power Co., from I.C. Plane and his wife, Elsie S. Plane, by flowage deed dated October 22, 1926, as recorded February 25, 1927, in Book 222, page 34 of the Buchanan County deed records.

Also the following flowage easements granted to Central States Power and Light Corporation and by it conveyed to Interstate Power Company, a Delaware Corporation, by instrument dated November 15, 1944, and recorded on the same date in the office of the Buchanan County Recorder in Book 264 Lands, page 471, said flowage rights being more particularly described as follows:

(A) The right to overflow the following described property situate, lying and being in the County of Buchanan and State of Iowa, to wit:

Commencing at the Northeast corner of the West One Half (1/2) of the Southwest One Quarter (1/4) of Section Thirty Four (34), Township Eighty Nine (89) North, Range Nine (9), West of the 5th P.M. in Buchanan County, Iowa, running thence west to Main Channel of the Wapsipinicon River, thence Southeasterly along said Main Channel to East line of said West One Half (1/2) of Southwest One Quarter (1/4) of Section Thirty Four (34), Township Eighty Nine (89) North, Range Nine (9), thence north along said line to place of beginning.

which may be overflowed by the erection and maintenance of the Dam as it now stands located on the Wapsipinicon River at Independence, Iowa.

The above rights were acquired by Central States Power and Light Corporation from H. H. Primus, single, by flowage easement dated October 24, 1930, as recorded on October 25, 1930, in Book 222 (Misc.), page 631 of the Buchanan County deed records

(B) The right to overflow the following described property situate, lying and being in the County of Buchanan and State of Iowa, to wit:

The South Half (S 1/2) of the Northwest Quarter (NW 1/4) and the Northwest Quarter (NW 1/4) of the Southwest Quarter (SW 1/4) and the Southwest Quarter (SW 1/4) of the Northeast Quarter (NE 1/4) of Section Twenty eight (28), Township Eighty nine (89) North, Range Nine (9) West,

which will be overflowed by the erection and maintenance of the Dam located on the Wapsipinicon River at Independence, Iowa.

The above rights were acquired by Central States Power and Light Corporation from Bankers Mortgage Company by flowage easement dated October 31st, 1930, as recorded on November 12, 1930, in Book 222 (Misc.), page 636, of Buchanan County deed records.

Made and executed this 8 day of May, 1958, at Dubuque, Iowa.

INTERSTATE POWER COMPANY

By M. L. Kapp
President

By Oscar Solberg
Secretary

(C O R P S E A L)

STATE OF IOWA)
) ss:
COUNTY OF DUBUQUE)

On this 8 day of May, A.D. 1958, before me, Jane Landgraf, a Notary Public in and for said County and said State, personally appeared M. L. Kapp, President and Oscar Solberg, Secretary, of Interstate Power Company, the Corporation which executed the above and foregoing instrument, who being to me known as the identical persons who signed the foregoing instrument, and by me duly sworn, each for himself, did say that they are re-

Dist	ININ	Parcel	0634461001	Alt	ININ	55.03.029	2004
Name	INDEPENDENCE, CITY OF			Deed	D	or Cont	
Addr				Name #	1	Reference #	
Addr	331 1ST ST E			Comments			
C/S/Z	4	INDEPENDENCE, IA	50644	Tax Acct		TIF/UR Dist	INUR
Location	House	Hse Suffix		Street			
	Land	Buildings	Dwellings	Total Value	Milit	Homes	
Full							
Last Yr							
Class		Sub Class		Gross Acres		Net Acres	
Number	->Buildings		Units	Dwellings	Csr		
Agland Credit		Homestead Credit Code		Military Credit Code			
Family Farm Credit	->Applied/Approved		Ownership	Value			
Exempt 1	85	Exempt 2		Exempt 3		Exempt 4	
Value							
Acres							
Misc Codes=>	1	2	3	4	5	Bank Code	Loan
Legal->	1	A TRACT OF LAND BOUND		2	ED ON N BY 2ND ST NE,		3
	4	E BY JONES ETAL		Sec/Twn/Rn	City/Twn	IN	Date Book Page
Addr#/Sec		Blk/Twn		Lot/Rn		Contn.	Deed
Disc->	% Use	Credit%		Credit\$		Cont	
Extended-Deed	0	Cont	0	Mail	0	Legal	0
		H/M1	0	Prop	0	Last Mnt	
This Activity	I	ACDINLP	UTXZ	Next->Dist		Parc	
Next Act	I	Or->Recon	N	Names	N	Legal	N
		Mil	N	Hm	N	PropCrd	N
		TIF	N				

Con 12-15
Independence Coal Gas

BUCHANAN COUNTY IA.
FILED FOR RECORD
2004 RO 2458 #26.00 Rec
2004 JUN 25 PM 2:57 5.00 E.C.
#31.00

Diane Curry
CLERK COUNTY
RECORDER

*Kevin D. Armstrong
MWH-11153 Aurora Ave.
Des Moines IA 50322-7904*

Sarah Dooley-Rothman, City Attorney City of Independence, 331 1st Street East, Independence, IA 319-334-2590
Preparer Address City, State Telephone

ENVIRONMENTAL PROTECTION EASEMENT

City of Independence, IA, ("Grantor"), grants to the State of Iowa acting through the Iowa Department of Natural Resources, a state agency, ("Department") an environmental easement under the terms and conditions as described below:

I. RECITALS

1. Soil or groundwater contamination is present on properties described as:

See Exhibit A.

and locally known as Second Street NE at Corrine Avenue NE, Independence, IA;

(hereafter "property"). The property is enrolled in the Iowa Department of Natural Resources land recycling program established under Iowa Code Chapter 455H. Under this program, an investigation of the soil and groundwater has been conducted and the site has been evaluated to determine a reasonable corrective action response designed to reduce the risks to health, safety and the environment. The Department has approved a corrective action response that includes the use restrictions contained in this agreement.

2. The purpose of this easement is to restrict and control specified land use activities at this property as one method of reducing the risks of present and future exposure to contaminants identified at the property.

3. Grantor(s) is (are) the owner(s) of the property and it is the intent of the parties to establish a valid and enforceable environmental easement as provided in Iowa Code section 455H.206. This environmental easement is intended to be perpetual until terminated as provided in this agreement, Iowa Code section 455H.206 and Department administrative rules. The easement is intended to run with the land such that it is binding on the Grantor(s) as current owner(s) of the described real estate and all successors, assigns and other persons claiming an interest in the property.

4. The parties acknowledge the terms of the easement may be modified or terminated as provided by law should it prove to be ineffective in serving its intended purpose or no longer necessary to protect against the risks posed to health, safety and environment. Failure of these use restrictions to serve their purpose could result in the reopening of further corrective action on the property.

THEREFORE, The Grantors grant and convey to the Department this environmental easement according to the following terms:

II. GRANT OF EASEMENT

The Grantor(s) warrant they hold the fee title interest in property with the power to convey this easement free of any conflicting claims of third parties. Grantor conveys to Department a perpetual environmental easement running with the land the terms of which are described below.

III. RESTRICTIONS

The property shall not be used for purposes described in the definition of a "residential land-use area." "Residential land-use area" is defined in Iowa Administrative Code Section 567-137.2 (455H). Other than as provided in section IV below, no wells for any purpose may be placed on the property.

IV. ACCESS TO PROPERTY

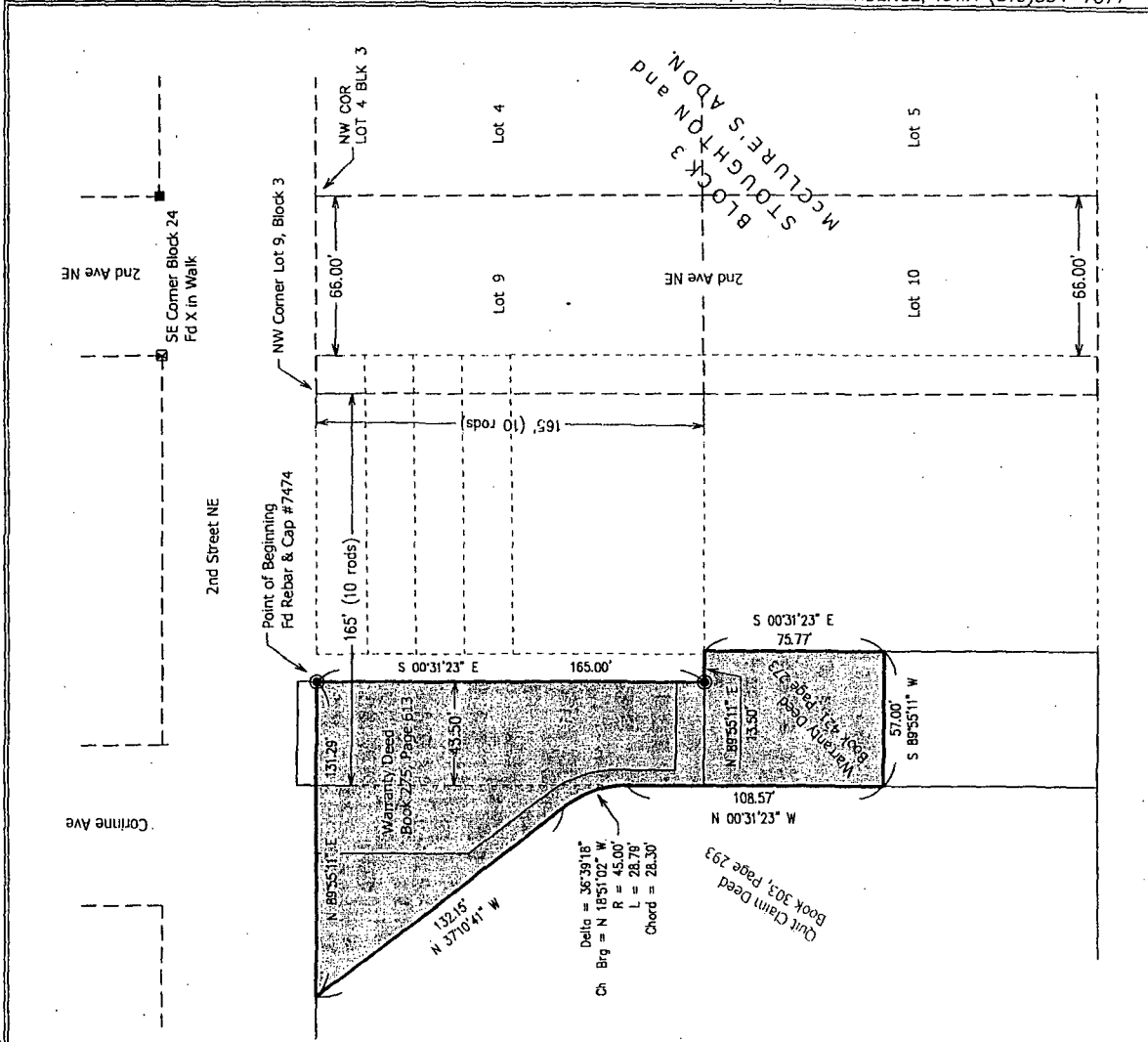
Reasonable access to the property is granted to the Department or any authorized representative of the Department, public or private, including private parties or their contractors which may be required by law or authorized by the Department, to conduct aboveground or subsurface inspections and investigations of the property. These activities may include but are not limited to repair and maintenance of remedial equipment and technologies, soil caps, groundwater monitoring wells and associated aboveground or subsurface structures, and fencing and other compliance with the terms of this easement, additional drilling and construction of soil borings or groundwater monitoring wells as directed by the Department, and other activities authorized by the Department. The current owner of the property shall be afforded reasonable prior notice and information as to the reason and scope of the entry.

V. TERMS OF SUBSEQUENT CONVEYANCES

Grantor shall reference and incorporate the terms of this agreement into any purchase agreement for sale of the property, assignment of an interest in the property or other instruments conveying an interest in the property and include specific contract terms requiring the buyer or assignee to incorporate the terms of this easement into successive conveyance instruments. See Iowa Code section 455H.206(4).

VI. MODIFICATION OR TERMINATION

The terms of this environmental easement shall only be modified or terminated by execution of an instrument signed by the director of the Department and as provided by Iowa Code 455H.206 and Department administrative rules.



ACQUISITION PLAT for:
 Environmental Protection Easement on part of The Unplatted Area West of and Adjacent to Block 3, Stoughton and McClure's Addition to The City of Independence, Iowa.

Legal Description:
 Beginning on the south line of Second Street Northeast at the Northeast Corner of the west 43.5 feet of the ten square rods lying directly west and adjacent to Lot 9, Block 3, Stoughton and McClure's Addition to the City of Independence, Iowa; thence S00°31'23"E, 165.00 feet; thence N89°55'11"E, 13.50 feet; thence S00°31'23"E, 75.77 feet; thence S89°55'11"W, 57.00 feet; thence N00°31'23"W, 108.57 feet; thence northerly 28.79 feet along a 45.00 feet radius curve, concave southwest, chord bearing N18°51'02"W, chord length 28.30 feet; thence N37°10'41"W, 132.15 feet to the south line of Second Street Northeast; thence N89°55'11"E, 131.29 feet along said south line to the Point of Beginning.

PROFESSIONAL ENGINEER & LAND SURVEYOR
 LAWRENCE G. CRAWFORD
 IOWA 11572

NORTH

SCALE: 1" = 60'

- Easement Boundary
- - - Original Lot Line
- - - Existing Parcel
- - - Existing Deed Line

Date of Survey: 6-08-2004
 Proprietor: City of Independence, Iowa
 Acquisition by: Iowa Dept. Natural Resources

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.
 LICENSE RENEWAL DATE: 12-31-2004 LICENSE NO. 11572
 Lawrence G. Crawford 6-9-04
 LAWRENCE G. CRAWFORD P.E. & L.S. DATE

CRAWFORD ENGINEERING & SURVEYING, INC.
 205 2nd Ave NE Independence, Iowa 50644
 (319) 334-7077